



7275 W. MAIN STREET, KALAMAZOO, MI 49009-9334  
269-216-5220 Fax 375-7180 TDD 375-7198  
www.oshtemo.org

**OSHTEMO CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS - REGULAR MEETING**

**OSHTEMO TOWNSHIP HALL  
7275 WEST MAIN STREET**

**TUESDAY, MAY 21, 2024  
3:00 P.M.**

**AGENDA**

1. Call to Order
2. Pledge of Allegiance
3. Approval of Agenda
4. Public Comment on Non-Agenda Items
5. Approval of Minutes: March 26, 2024
6. **Public Hearing: Variance Request – Move Up, LLC (692 South 8<sup>th</sup> Street)**  
Move UP, LCC is requesting relief from the frontage requirements outlined in Section 50.10 of the Zoning Ordinance to allow a proposed land division at 692 South 8<sup>th</sup> Street resulting in a parcel with less than 200 feet of frontage.
7. **Site Plan Review: Dunshee Auto and Body**  
Dunshee Auto and Body is requesting site plan approval of an 11,957 square foot auto body shop with associated office space on a vacant parcel in the 6600 block of West KL Avenue.
8. **Site Plan Review: Storypoint Kalamazoo at Bronson Place – Memory Care**  
Common Sail Development is requesting site plan approval of a 28-bed memory care facility addition to the building at 1700 Bronson Way.
9. Other Updates and Business
  - a. Planning Department 2023 Annual Report
  - b. Building tour.
10. Adjournment

*(Meeting will be available for viewing through <https://www.publicmedianet.org/qavel-to-qavel/oshtemo-township>)*

**Policy for Public Comment  
Township Board Regular Meetings, Planning Commission & ZBA Meetings**

All public comment shall be received during one of the following portions of the Agenda of an open meeting:

- a. Citizen Comment on Non-Agenda Items or Public Comment – while this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official or staff member to respond at a later date. More complicated questions can be answered during Township business hours through web contact, phone calls, email ([oshtemo@oshtemo.org](mailto:oshtemo@oshtemo.org)), walk-in visits, or by appointment.
- b. After an agenda item is presented by staff and/or an applicant, public comment will be invited. At the close of public comment there will be Board discussion prior to call for a motion. While comments that include questions are important, depending on the nature of the question, whether it can be answered without further research, and the relevance to the agenda item at hand, the questions may not be discussed during the Board deliberation which follows.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name, but it is not required.

All public comment offered during public hearings shall be directed, and relevant, to the item of business on which the public hearing is being conducted. Comment during the Public Comment Non-Agenda Items may be directed to any issue.

All public comment shall be limited to four (4) minutes in duration unless special permission has been granted in advance by the Supervisor or Chairperson of the meeting.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor or Chairperson of the meeting shall terminate any public comment which does not follow these guidelines.

(adopted 5/9/2000)  
(revised 5/14/2013)  
(revised 1/8/2018)

Questions and concerns are welcome outside of public meetings during Township Office hours through phone calls, stopping in at the front desk, by email, and by appointment. The customer service counter is open from Monday-Thursday, 8 a.m.-1 p.m. and 2-5 p.m., and on Friday, 8 a.m.–1 p.m. Additionally, questions and concerns are accepted at all hours through the website contact form found at [www.oshtemo.org](http://www.oshtemo.org), email, postal service, and voicemail. Staff and elected official contact information is provided below. If you do not have a specific person to contact, please direct your inquiry to [oshtemo@oshtemo.org](mailto:oshtemo@oshtemo.org) and it will be directed to the appropriate person.

<b>Oshtemo Township Board of Trustees</b>		
<b><u>Supervisor</u></b>		
Cheri Bell	216-5220	<a href="mailto:cbell@oshtemo.org">cbell@oshtemo.org</a>
<b><u>Clerk</u></b>		
Dusty Farmer	216-5224	<a href="mailto:dfarmer@oshtemo.org">dfarmer@oshtemo.org</a>
<b><u>Treasurer</u></b>		
Clare Buszka	216-5260	<a href="mailto:cbuszka@oshtemo.org">cbuszka@oshtemo.org</a>
<b><u>Trustees</u></b>		
Neil Sikora	760-6769	<a href="mailto:nsikora@oshtemo.org">nsikora@oshtemo.org</a>
Kristin Cole	375-4260	<a href="mailto:kcole@oshtemo.org">kcole@oshtemo.org</a>
Zak Ford	271-5513	<a href="mailto:zford@oshtemo.org">zford@oshtemo.org</a>
Michael Chapman	375-4260	<a href="mailto:mchapman@oshtemo.org">mchapman@oshtemo.org</a>

<b>Township Department Information</b>			
<b><u>Assessor:</u></b>			
Kristine Biddle	216-5225	<a href="mailto:assessor@oshtemo.org">assessor@oshtemo.org</a>	
<b><u>Fire Chief:</u></b>			
Greg McComb	375-0487	<a href="mailto:gmccomb@oshtemo.org">gmccomb@oshtemo.org</a>	
<b><u>Ordinance Enforcement:</u></b>			
Rod Rought	216-5222	<a href="mailto:rrought@oshtemo.org">rrought@oshtemo.org</a>	
<b><u>Parks Director:</u></b>			
Vanessa Street	216-5233	<a href="mailto:vstreet@oshtemo.org">vstreet@oshtemo.org</a>	
Rental Info	216-5224	<a href="mailto:oshtemo@oshtemo.org">oshtemo@oshtemo.org</a>	
<b><u>Planning Director:</u></b>			
Jodi Stefforia	375-4260	<a href="mailto:jstefforia@oshtemo.org">jstefforia@oshtemo.org</a>	
<b><u>Public Works Director:</u></b>			
Anna Horner	216-5228	<a href="mailto:ahorner@oshtemo.org">ahorner@oshtemo.org</a>	

**OSHTEMO CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
DRAFT MINUTES OF A REGULAR MEETING HELD MARCH 26, 2024 AT  
OSHTEMO TOWNSHIP HALL, 7275 WEST MAIN STREET**

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**Agenda**

**PUBLIC HEARING –VARIANCE REQUEST: WESTCARE ASSOCIATES, LLC: Westcare Associates, LLC is requesting relief from the frontage requirements outlined in Section 50.10 of the Zoning Ordinance to allow for a reduced frontage of 120 feet at 6565 W Main Street where the Zoning Ordinance requires 200 feet for commercially-zoned parcels.**

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A meeting of the Oshtemo Charter Township Zoning Board of Appeals was held Tuesday, March 26, 2024, beginning at 3:00 p.m.

MEMBERS PRESENT: Louis Williams, Chair  
Rick Everett  
Dusty Farmer  
Fred Gould  
Harry Jachym, Vice Chair  
Al Smith

Also present were Colten Hutson, Zoning Administrator; Leeanna Harris, Zoning Administrator; Jim Porter, Township Attorney; and two guests.

**Call to Order**

Chairperson Williams called the meeting to order. Those present joined in reciting the Pledge of Allegiance.

**Approval of Agenda**

Vice Chair Jachym **made a motion** to approve the agenda as presented. Mr. Gould seconded the motion. Vice Chair Williams called for a vote. **The motion was approved** unanimously.

The Chairperson moved to the next agenda item.

**Public Comment on Non-Agenda Items**

There were no comments on non-agenda items.

**Approval of the Minutes of February 20, 2024**

Chair Wiliams asked if there were any amendments needed for approval of the minutes of February 20, 2024. Hearing none, Mr. Jachym **made a motion** to approve the minutes as presented. Clerk Farmer **seconded the motion**. The Chairperson called for a vote. The **motion was approved** unanimously.

**Public Hearing –Variance Request: Westcare Associates, LLC**

The Chair opened the meeting for public hearing, variance request for 6565 W. Main Street.

Ms. Harris presented the variance request for 6565 W. Main Street (parcel 05-14-330-020). The applicant, Marty Hodges on behalf of Westcare Associates, is requesting a frontage variance from Section 50.10 of the Zoning Ordinance to allow for a reduced frontage of 120 feet, where the Zoning Ordinance requires 200 feet for commercially zoned parcels.

The project is largely in cooperation with Oshtemo Township to ensure the proposed road extension does not constitute a taking. The applicant's intent is to operate the southernmost portion of the property with the present nonconforming frontage with Seeco Drive until the extension of Seeco Drive can be installed, bringing the site into full compliance. This portion of the site will not require a variance since it already possesses sufficient frontage required by ordinance. 6565 W. Main Street outlined in red on the aerial map is in the NE quadrant of the Township. Presently, there are two access points with frontage to the site: 120 feet abutting Seeco Drive, and approximately 661 feet abutting W. Main Street. The entire property is approximately 18 ½ acres and is zoned C-Local Business District. There are currently two buildings on the property totaling 69,500 square feet with corresponding parking, site circulation, stormwater, etc.

**Standards of Approval:**

Moving to the variance request, the Michigan courts have provided the principles for dimensional variance which collectively amount to demonstrating approximate practical difficulty. Staff have analyzed the requests against these principles and offer the information in the Staff Report to the Zoning Board of Appeals.

*Standard: Unique Physical Circumstances: Are there unique physical limitations or conditions which prevent compliance?*

*Comment:* The property is currently developed and meets Ordinance requirements for size and frontage from W. Main Street however, if the property were to be divided, the frontage from Seeco Drive from the southernmost area of the parcel would be 120 feet. If the property owner were to grant the Township an easement for the road improvements, then the southernmost area of the parcel would comply. Since the Township is taking initiative and is proposing easement for a public road to intersect the property, it could be argued that such is a physical circumstance.

*Standard: Conformance Unnecessarily Burdensome: Are reasonable options for compliance available?*

*Comment:* It could be argued that compliance would be unnecessarily burdensome since without the variance, the property owner would be prevented from operating the southernmost building until Seeco Drive is constructed eastward which is when the southernmost area of the parcel would regain sufficient frontage, to be conforming again. Access is presently occurring from this location from Seeco Drive to the site.

*Standard: Minimum necessary for substantial justice.*

**Comment:** In researching past Zoning Board of Appeals decisions regarding the request for relief from road frontage requirements, Planning Department Staff were unable to identify any similar cases, mainly attributable to the uniqueness of this request. In this instance, the Township is taking the initiative and is proposing an easement for road improvements to intersect the 18 ½ acre property in efforts to extend a public roadway east. The few cases Staff identified were instances where a developer initiated the request to install a public road but only in the interest of creating a residential subdivision. The Township is requesting an easement for road improvements in a location where it would burden the southernmost area of the parcel with respects to reduced frontage and although the precedence may not prove substantial justice, approving the variance would provide justice to the property owner by allowing them to continue the use of their property while the Seeco Drive extension is constructed and not allowing the construction of the road to constitute a taking.

*Standard: Self-Created Hardship: Are the conditions or circumstances which resulted in the variance request, created by the actions of the applicant?*

**Comment:** It could be argued that the conditions and circumstances which resulted in the variance request were not created by the actions of the applicant. Rather, it could be argued that the need for the variance was created from the cooperative nature of the applicant with the Township in order to receive an easement for road improvements, to construct the Seeco Drive extension.

*Standard: Public Safety and Welfare: Will the variance request negatively impact the health, safety, and welfare of others?*

**Comment:** An excerpt of the Township’s 2011 Master Plan, specifically the West Main sub-area plan [visual map in presentation and full plan in the packet, page 25]. This area of the W. Main sub-area plan is crucial to planning the extension of Seeco Drive with a proposed collector road intersection through the subject property. If the variance were approved, the proposed road would not only significantly improve the health, safety, and welfare of adjacent properties but enhance the entire community as well by providing new road networks and access. Additionally, any traffic created by the extension of Seeco Drive would be well controlled by the traffic signal at the intersection of N. 9<sup>th</sup> Street and Seeco Drive.

Possible Actions:

The motion from the Zoning Board of Appeals should include the findings of fact relevant to the requested variance. Based on Staff analysis, the following findings of fact are presented:

- Support of variance approval includes:
  - The unique physical circumstances that prevent strict compliance with the Zoning Ordinance as the Township is requesting an easement to extend Seeco Drive eastward which will ultimately bisect the applicant’s property.
  - Conformance to the Ordinance is unnecessarily burdensome as the amount of property that would be required to construct the Seeco Drive extension would

- render the southernmost portion of the site essentially unusable by the property owner and could constitute a taking.
- Support of variance approval also includes that the proposed road would not only significantly improve the health, safety, and welfare of adjacent properties but also enhance the entire community by providing new road networks and access, and the conditions and circumstances which result in the variance request were not created by the actions of the applicant but rather by the cooperative actions of the applicant and the Township that created the need for the variance.
- Support of variance denial includes substantial justice not being met due to there being no similar cases found due to the uniqueness of the request.

Possible Zoning Board of Appeals motions to consider include:

1. Zoning Board of Appeals approves the variance request due to the unique physical circumstance, conformance to the Ordinance is unnecessarily burdensome, there would be no negative impact to the health, safety, or welfare of the public, and the conditions or circumstances which resulted in the variance request were not self-created.
2. If the variance is approved, Staff recommend the following conditions:
  - a.) New building permits, if any, shall not be released until the Seeco Drive project design is approved and accepted by the Road Commission of Kalamazoo County and the necessary easement is granted to the Township.
  - b.) New building permits, if any, shall not be released until the land division application is submitted and approved.
3. Alternatively, the Zoning Board of Appeals can deny the variance due to substantial justice not being met since no similar cases were identified.

Ms. Harris offered to answer any questions the Board may have and stated the applicant was present.

Chairperson Williams thanked Ms. Harris for her presentation and asked for confirmation if 6565 W. Main were Westside Medical, which Ms. Harris confirmed. The Chair also asked if there were a traffic signal or if there would be further traffic signals installed at the aforementioned portion of the site. Ms. Harris deferred to Attorney Porter, or Mr. Colten Hutson, Zoning Administrator, but confirmed if variance is approved, there is a signalized intersection at Seeco Drive and N. 9<sup>th</sup> Street. Attorney Porter noted there would not be a need for additional traffic signals but be an extension of Seeco Drive as it is currently and noted that the roundabout would be installed and then Seeco Drive would simply be extended eastward.

Mr. Jachym asked if there is a timeline for this proposed road project. Attorney Porter responded as he and Mr. Hutson have had conversations with the Public Works Director and this road extension is one of the top priorities of the Township and are looking to move forward as quickly as possible. Further noted, the Township has developers looking at the land immediately east of this property and they will need a second access to fully develop.

Clerk Farmer asked for further clarification of how the construction of this road will bring it into compliance. Ms. Harris conveyed that actively it has 120 feet of frontage, so it is legally nonconforming but if/when the road extension is constructed, it will have more than the 200 feet of frontage required by ordinance. Attorney Porter specified the width is 661 feet of frontage once the road is completed; dividing the north property from the south, giving this property

owner this temporary variance where the property would then have 3 times the required frontage.

Mr. Everett stated his understanding, Seeco Drive to the west only has 120 feet of frontage, but once the road is constructed across the property, they would have the entire width of the property as frontage, which Attorney Porter affirmed.

Chairperson Williams asked if there were any other questions. Hearing none from the Board, he asked Mr. Marty Hodges of Westcare Associates, LLC to approach the lectern if he had anything to share. Mr. Hodges replied that he supports the variance as proposed and further mentioned that when he was approached with this proposal, he felt this would be a good long-term investment for Oshtemo.

The Chair stated without anything further to add, closed the public comment portion of the meeting, and asked for Board deliberation.

Mr. Smith **made a motion** to approve the variance request, due to the unique physical characteristics of this location, the conformance to the Ordinance is unnecessarily burdensome, and that there would be no negative impact to the health, safety, and welfare of the public, on the contrary, it will benefit the health, safety, and welfare of the public, and the conditions and circumstances which resulted in this request for the variance were not self-created. Mr. Smith stated he also recommends that this variance be approved with Staff recommendations, that no new building permits shall be released until Seeco Drive is approved and accepted by Kalamazoo County Road Commission and the necessary easement is given to the Township for construction of the road extension. Also, as a second condition, any building permits be held until such time that a land division application is submitted to the Township and approved. Mr. Jachym **seconded the motion**.

With a motion on the floor, the Chair called for a vote: 6 ayes, 0 nays, 0 abstentions. **Motion carried unanimously.**

Chairperson moved to the next agenda item.

### **Other Updates and Business**

Mr. Hutson stated the new Planning Director will begin later this week, Jodi Stefforia, and that she will be a wonderful addition to this team. Clerk Farmer also communicated there is a new minute-taker and asked when this person will be attending. Mr. Hutson confirmed this person will start in-person at the next Zoning Board of Appeals meeting.

Mr. Gould asked if it were possible to obtain a printed copy of the meeting packet before the start of the meeting, due to a printer issue. Mr. Hutson assured Mr. Gould if he contacted the office, a printed packet could be prepared in advance.

### **Adjournment**

The Chair stated there being no other business, he adjourned the meeting at 3:25 p.m.

Minutes prepared: April 1, 2024

Minutes approved: \_\_\_\_\_, 2024

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May 16, 2024

**Mtg Date:** May 21, 2024

**To:** Oshtemo Township Zoning Board of Appeals

**From:** Leeanna Harris, Zoning Administrator

**Applicant:** Move Up, LLC

**Owner:** AGM Development, LLC

**Property:** 692 S 8<sup>th</sup> Street, Parcel Number 3905-22-285-022

**Zoning:** I-1: Industrial District

**Request:** A variance from frontage requirements outlined in Section 50.10 of the Zoning Ordinance to allow for a reduced frontage of 178 feet where the Zoning Ordinance requires 200 feet in the industrial district.

**Section(s):** Section 50.10 – Schedule of Area, Frontage and/or Width Requirements  
Section 27 – I-1: Industrial District

**OVERVIEW:**

Move Up, LLC, is requesting a variance from frontage requirements outlined in Section 50.10 of the Zoning Ordinance to allow for a reduced frontage of 178 feet where the Zoning Ordinance requires 200 feet for parcels in the industrial districts. The applicant’s intent is to divide the building addressed 692 South 8<sup>th</sup> Street from the parcel addressed 604 South 8<sup>th</sup> Street in order to own the subject building and corresponding property instead of leasing. The proposed division can be seen on the Sketch of Descriptions document, attached.

The subject property is outlined in red in the aerial map to the right. The property is northwest of the South 8<sup>th</sup> Street and West Kl Avenue intersection. The parcel has frontage on two streets: approximately 178



feet on West KL Avenue and approximately 198 feet on South 8<sup>th</sup> Street. The frontage requirement is 200 feet. The property's size exceeds the minimum required at approximately 381,600 square feet. However, neither the frontage on South 8<sup>th</sup> Street nor on West KL Avenue are presently in compliance with the Ordinance, at 198.59 feet and 178.42 feet, respectively.

STANDARDS OF REVIEW – STAFF ANALYSIS

The Michigan courts have applied the following principles for a dimensional variance, which collectively amount to demonstrating a practical difficulty, as follows:

- Special or unique physical conditions and circumstances exist which are peculiar to the property involved and which are not generally applicable to other properties in the same district.
- Strict compliance with the standard would unreasonably prevent the landowner from using the property for a permitted use; or would render conformity to the ordinance unnecessarily burdensome.
- The variance is the minimum necessary to provide substantial justice to the landowner and neighbors.
- The problem is not self-created.
- Public safety and welfare.

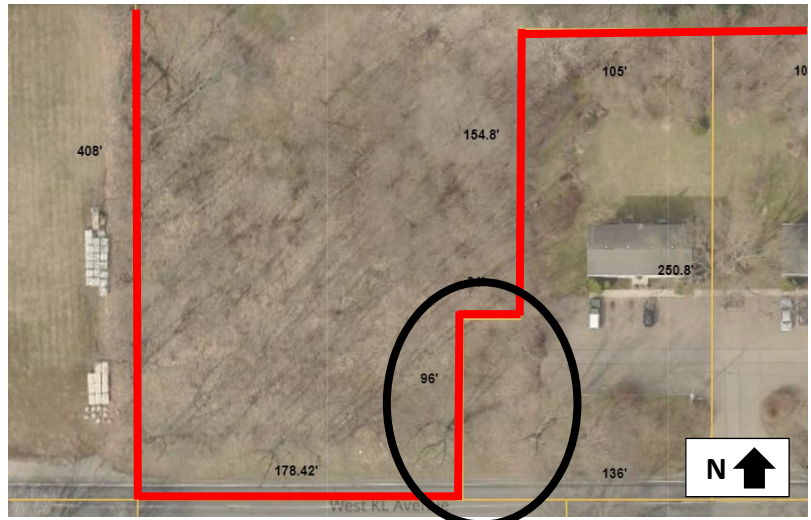
Staff has analyzed the request against these principles and offers the following information to the Zoning Board of Appeals.

Standards of Approval of a Nonuse Variance (practical difficulty)

*Standard: Unique Physical Circumstances*  
*Are there unique physical limitations or conditions which prevent compliance?*

**Comment:** 692 South 8<sup>th</sup> Street is presently developed with three buildings on site. The property size is fully compliant with the Ordinance; however, neither of the frontages are currently compliant with the Ordinance. At one point, the property had approximately 209 feet of frontage on West KL Avenue, in compliance with the Zoning Ordinance's requirements. The neighboring property, addressed 7106 West KL Avenue, constructed their septic tank and drain field for a multi-family home over the subject property's line (see map to the right for reference). As a requirement of the sale of the multi-family home, 31 feet of property, where the septic tank and drain field are located, had to be deeded over to the property owner to the east.

Before seeking a variance, the applicant did attempt to acquire the necessary frontage from the property owner at 7106 West KL Avenue. Due to the location of the septic tank and drain field, and other various reasons, this acquisition was not possible. See applicant's comments on this factor.



*Conformance Unnecessarily Burdensome*

*Are reasonable options for compliance available?*

*Does reasonable use of the property exist with denial of the variance?*

Comment: Reasonable options for compliance are available by continuing to operate the property in its present state. Use is presently being made of the property and denial of the variance would not prevent continuing the use.

Dividing the building and associated property from the parent parcel in order to own the building instead of leasing the building is entirely discretionary and options for compliance exist in platting or creating a site condominium. However, this involves the adjacent property owners to the south that are served by the private drive. There is presently a 66-foot-wide easement proposed from South 8<sup>th</sup> Street to the proposed divided parcel. See applicant's comments on this factor.

*Minimum Necessary for Substantial Justice*

*Applied to both applicant as well as to other property owners in district.*

*Review past decisions of the ZBA for consistency (precedence).*

Comment: In researching past Zoning Board of Appeals decisions regarding the request for relief from the road frontage requirements, one similar request was found. These details can be found below, and the corresponding meeting minutes can be found attached to this report. See applicant's comments on this factor.

628 South 8<sup>th</sup> Street, Parcel Number 3905-22-285-025, 12/17/2001: The applicant sought relief from the frontage (and area) requirements for I-1: Industrial District properties from the Zoning Board of Appeals to allow for the expansion of their building to add storage. The applicants argued that platting would not benefit the neighboring properties or the community, and that a site condominium was not available because two units were necessary. The Zoning Board of Appeals granted the variance request, allowing the building enlargement, citing that the variance was consistent with the spirit and intent of the Ordinance, conditioning that shared drive maintenance shall occur and an improvement agreement between the owner of the subject site and the AGM property shall occur.

*Self-Created Hardship*

*Are the conditions or circumstances which resulted in the variance request created by actions of the applicant or a previous owner?*

Comment: The applicant's interest in owning the property and corresponding building is what is creating the request, arguing that the conditions and circumstances which resulted in the variance request were created by the actions of the applicant. However, also consider that the reason for the frontage being less than current Ordinance requirements was due to a neighboring property owner constructing their septic tank and drain field over the property line onto the subject property, causing the need for 31 feet of property to be deeded over to the neighboring property owner (map shown above) as a requirement of the sale of the multi-family home. Before this, the property had approximately 209 feet of frontage on W KL Avenue, which would have been fully compliant with the Zoning Ordinance's requirements. See applicant's comments on this factor.

*Public Safety and Welfare*

*Will the variance request negatively impact the health, safety, and welfare of others?*

Comment: The frontage required by Ordinance of 200 feet is typical for industrially zoned properties for driveways, utilities, etc. and to ensure adequate space in between neighboring parcels. It could be argued that, by granting the variance and allowing the 178-foot frontage, the request could negatively impact the health, safety, and welfare of others *unless* there is a restriction placed that prohibits the establishment of a driveway to West KL Avenue. See applicant’s comments on this factor.

POSSIBLE ACTIONS

The motion should include the findings of fact relevant to the requested variance. Based on the staff analysis, the following findings of fact are presented:

- Support of variance approval
  - There are unique physical circumstances that prevent strict compliance with the Zoning Ordinance as the nonconforming frontage was created due to the neighboring property owners constructing the septic tank and drain field over the subject property’s property line.
  
- Support of variance denial
  - Compliance with the Ordinance is not unnecessarily burdensome as the property could continue to be utilized in its present state, and dividing the property is entirely discretionary.
  - Although the conditions or circumstances which resulted in the variance request were not created by the actions of the applicant, the remaining frontage is a result of a previous owner, which is still relevant for self-created hardships.
  - Conformance to the Ordinance is not unnecessarily burdensome as creating a site condominium, platting, or extending a private road through the site, is possible if neighboring property owners participate.

Possible motions for the Zoning Board of Appeals to consider include:

1. Variance Approval

The Zoning Board of Appeals approves the variance request.

If the variance were approved, Staff also recommend that the Zoning Board of Appeals attach the following conditions:

- No additional access points to West KL Avenue shall be permitted until such time that the parcel’s West KL Avenue frontage satisfies Zoning Ordinance requirements.
- The proposed 66’ easement shall be recorded with the Kalamazoo County Register of Deeds Office and proof of same provided with the application for Land Division approval.

2. Variance Denial

The Zoning Board of Appeals denies the variance request.

Attachments: Application  
Applicant’s Letter of Intent  
Sketch of Description  
12/17/2001 Meeting Minutes



7275 W. Main Street, Kalamazoo, Michigan 49009-9334  
Phone: 269-375-4260 Fax: 269-375-7180

**PLEASE PRINT**

PROJECT NAME & ADDRESS \_\_\_\_\_

**PLANNING & ZONING APPLICATION**

Applicant Name: Move Up, LLC

Company: Move Up, LLC

Attn: April Jennis Collet

Address: 692 S. 8th Street

Kalamazoo, MI 49009

E-mail: ajennis@gobluetech.com

Telephone: 616-345-0311 Fax: N/A

Interest in Property: Current tenant; looking to acquire the property

**OWNER\*:**

Name: AGM Development, LLC

Address: PO Box 19067

Kalamazoo, MI 49019

E-mail: rwendland@agm-michigan.com

Phone & Fax: 269-375-6165

THIS  
SPACE  
FOR  
TOWNSHIP  
USE  
ONLY

Fee Amount \_\_\_\_\_

Escrow Amount \_\_\_\_\_

**NATURE OF THE REQUEST: (Please check the appropriate item(s))**

- |   |   |
|---|---|
| <input type="checkbox"/> Pre-Application Review                 | <input type="checkbox"/> Accessory Building Review – I083 |
| <input type="checkbox"/> Site Plan Review – I088                | <input type="checkbox"/> Rezoning – I091                  |
| <input type="checkbox"/> Administrative Site Plan Review – I086 | <input type="checkbox"/> Subdivision Plat Review – I089   |
| <input type="checkbox"/> Special Exception Use – I085           | <input type="checkbox"/> Interpretation – I082            |
| <input checked="" type="checkbox"/> Zoning Variance – I092      | <input type="checkbox"/> Other: _____                     |
| <input type="checkbox"/> Site Condominium – I084                |   |

**BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary):** \_\_\_\_\_

PLEASE SEE ATTACHED

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**LEGAL DESCRIPTION OF PROPERTY** (Use Attachments if Necessary):  
PLEASE SEE ATTACHED

**PARCEL NUMBER:** 3905- 22-285-022

**ADDRESS OF PROPERTY:** 604 & 692 S. 8th Street, Kalamazoo, MI

**PRESENT USE OF THE PROPERTY:** Industrial

**PRESENT ZONING:** I-1 **SIZE OF PROPERTY:** 8.76 acres

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING  
A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

**Name(s)**

**Address(es)**

Name(s)	Address(es)
<hr/>	<hr/>
<hr/>	<hr/>

**SIGNATURES**

*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.*

DocuSigned by:  
  
7996896782D24CC...

3/27/2024 | 10:36 AM PDT

**Owner's Signature** (\*If different from Applicant)

**Date**

DocuSigned by:  
  
3892371822DD459...

3/27/2024 | 2:51 PM PDT

**Applicant's Signature**

**Date**

- Copies to:
- Planning - 1
- Applicant - 1
- Clerk - 1
- Deputy Clerk - 1
- Attorney - 1
- Assessor - 1
- Planning Secretary - Original

\*\*\*\*

**PLEASE ATTACH ALL REQUIRED DOCUMENTS**

## **Variance Application – Supplemental Information**

### **692 S. 8<sup>th</sup> Street, Kalamazoo, MI**

Applicant is seeking a frontage variance from the Township of Oshtemo Zoning Board to split the **692 S. 8<sup>th</sup> Street** property as shown on the attached diagram from the parent parcel commonly known as **604 S. 8<sup>th</sup> Street**.

The proposed new parcel zoned I-1 has an existing 19,000 SF industrial building on the site and would have approximately 3.8 acres of land once split. The reason for the variance request is that the frontage on KL Avenue falls short of the required 200' of frontage required by the I-1 zoning ordinance by approximately 21.57'.

#### **Addressing the Standards of Approval of a Nonuse Variance:**

1. **Conformance is Unnecessarily Burdensome:**

- a. Denial of the Variance would prevent the lot split, which prevents occupant ownership of the property as desired by Applicant.
- b. The existing parcel contains multiple facilities currently under common ownership but occupied by separate businesses. It is necessary to separate the parcel for 1) future growth of the businesses; 2) operations, and 3) success of the various occupants.
- c. Acquisition of the parcels to the east and west have not been feasible due to costs, location of septic field, and/or unwillingness of the property owners to transact.

2. **Substantial Justice:**

- a. It appears other properties in the area with I-1 zoning have received waivers of the frontage requirement in the past including: 624 & 628 S. 8<sup>th</sup> Street, which may establish township precedent.

3. **Unique Physical Circumstances:**

- a. At one time, there was over 200' of frontage on KL Avenue for the subject parcel. However, 31' of the property was transferred to the east multi-family units at 7106 W KL Avenue to address the issue that their septic/drain fields lie in this 31' of frontage. This hardship was not created by the current owner of the property. While an easement could be created for the septic tanks/fields, the owner of the 7106 W KL Avenue parcel has been unwilling to sell us the frontage required as it would affect his loan requirements.

- b. Acquisition of the West parcel at 7190 W KL Avenue has also proved to be a dead end. The owner is not looking to sell unless they can achieve double the market price.

**4. Self-Created Hardship:**

- a. As stated above, there was over 200' of frontage on KL Avenue at one time for the subject parcel; however, a previous owner (not the current owner) was forced to transfer 31' to the east parcel as their septic tanks/fields sat in that 31' area, resulting in less than 200' of frontage for the subject parcel.

**5. Will the spirit of the Ordinance be observed, the public health, safety and welfare secured and substantial justice done if the variance is granted?:**

- a. In our opinion, yes. The granting of the variance will not result in any adverse impacts to adjacent properties or the public. A variance would allow businesses already in operation on the property to continue but with the ownership of their own land and buildings. Since the subject property already has vehicular access from 8<sup>th</sup> Street, no driveways out to KL would be necessary and so there would not be an impact to traffic on KL. In addition, the density of development on the north side of KL would not be changed or increased by the granting of the variance, since the properties and buildings affected are all existing. The 21.57' deficit is for a septic system which has no visual or aesthetic impact from the roadway and existing structures will maintain a appropriate spacing as if the 200' of frontage existed. The past sale of 31' to the east property actually provides for the public safety, health and welfare of the residents of that property by allowing the septic system to remain and be owned/operated/maintained by that landowner.

As we work together to better the community of Oshtemo, we appreciate your consideration of this request.



# SKETCH OF DESCRIPTIONS

## SCHEDULE "A" LEGAL DESCRIPTION FROM: SUN TITLE AGENCY OF MICHIGAN COMMITMENT NO.: 222330 (COMMITMENT DATE: 05/08/2023)

LAND SITUATED IN THE TOWNSHIP OF OSHTEMO, KALAMAZOO COUNTY, MICHIGAN:

### PARCEL 1

PART OF THE NORTHEAST 1/4 OF SECTION 22, TOWN 2 SOUTH, RANGE 12 WEST, DESCRIBED AS: COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION, THENCE SOUTH 89 DEGREES 47 MINUTES 35 SECONDS WEST, 642.35 FEET ALONG THE EAST-WEST 1/4 LINE TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID LINE SOUTH 89 DEGREES 47 MINUTES 35 SECONDS WEST 178.42 FEET; THENCE NORTH 00 DEGREES 06 MINUTES 39 SECONDS WEST 562.47 FEET ALONG THE WEST LINE OF THE EAST 5/8 OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION; THENCE NORTH 89 DEGREES 47 MINUTES 35 SECONDS EAST, 420.43 FEET; THENCE SOUTH 00 DEGREES 08 MINUTES 45 SECONDS EAST 311.67 FEET ALONG THE WEST LINE OF THE EAST 400.00 FEET OF THE NORTHEAST 1/4 OF SAID SECTION; THENCE SOUTH 89 DEGREES 47 MINUTES 35 SECONDS WEST 211.62 FEET ALONG THE NORTH LINE OF THE SOUTH 250.80 FEET OF THE NORTHEAST 1/4 OF SAID SECTION TO A POINT WHICH IS 611.35 FEET WEST OF THE EAST 1/4 CORNER OF SAID SECTION MEASURED PERPENDICULAR TO THE EAST-WEST 1/4 LINE OF SAID SECTION; THENCE SOUTH 00 DEGREES 12 MINUTES 25 SECONDS EAST 154.80 FEET PERPENDICULAR TO THE EAST-WEST 1/4 LINE OF SAID SECTION; THENCE SOUTH 89 DEGREES 47 MINUTES 35 SECONDS WEST 31.00 FEET; THENCE SOUTH 00 DEGREES 12 MINUTES 25 SECONDS EAST 96.00 FEET TO THE POINT OF BEGINNING.

ALSO

### PARCEL 2

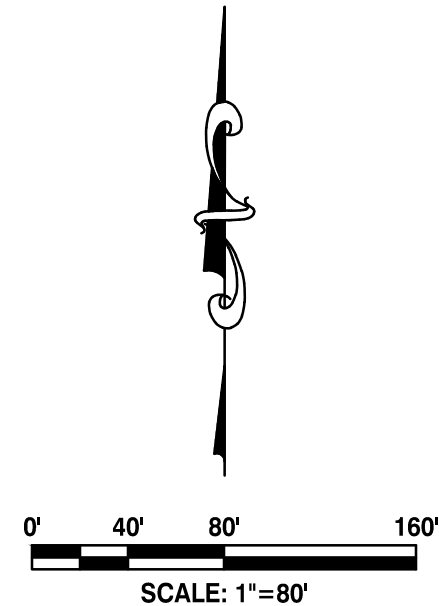
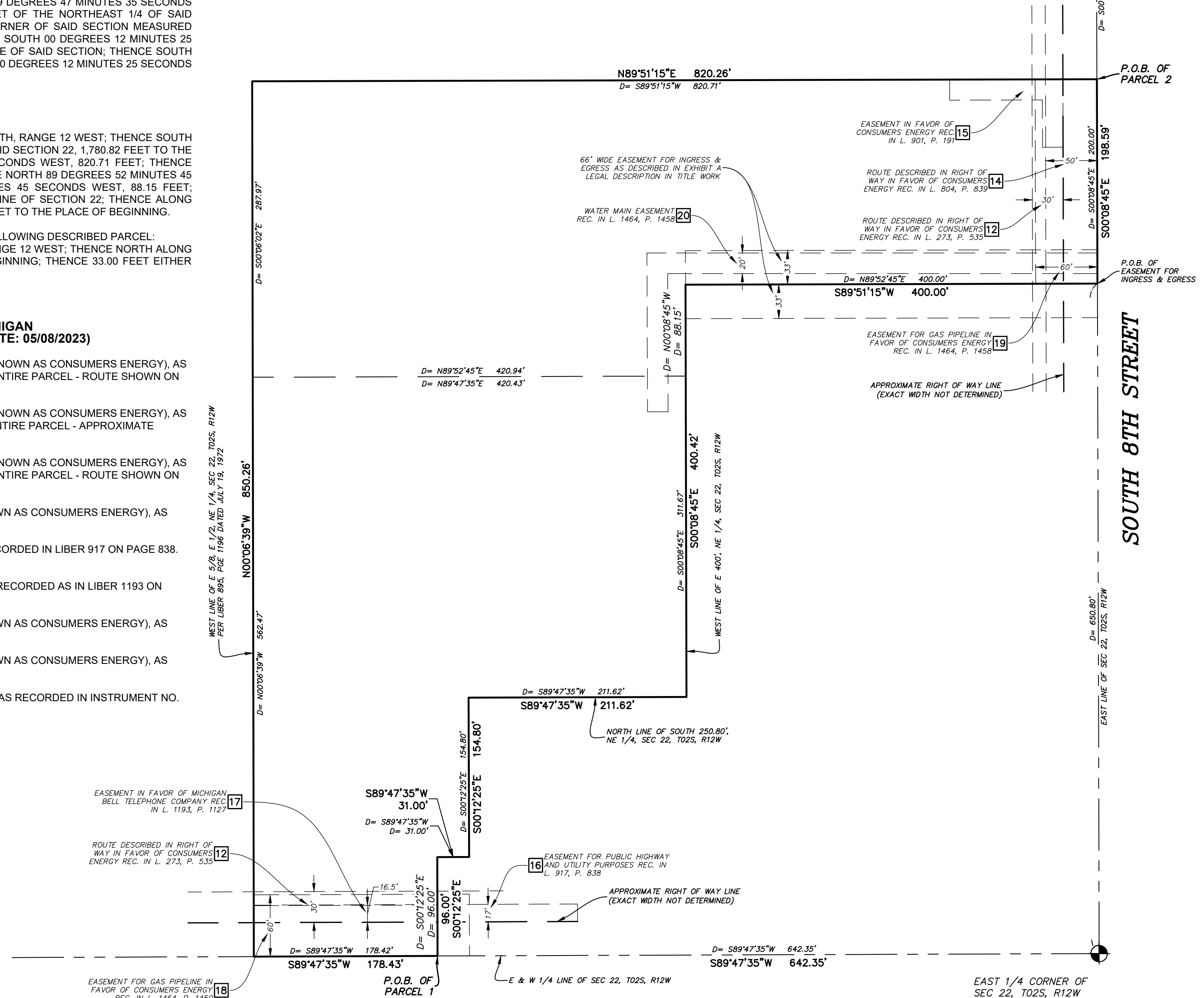
COMMENCING ON THE NORTHEAST CORNER OF SECTION 22, TOWN 2 SOUTH, RANGE 12 WEST; THENCE SOUTH 00 DEGREES 08 MINUTES 45 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION 22, 1,780.82 FEET TO THE PLACE OF BEGINNING; THENCE SOUTH 89 DEGREES 51 MINUTES 15 SECONDS WEST, 820.71 FEET; THENCE SOUTH 00 DEGREES 06 MINUTES 02 SECONDS EAST, 287.97 FEET; THENCE NORTH 89 DEGREES 52 MINUTES 45 SECONDS EAST, 420.94 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 45 SECONDS WEST, 88.15 FEET; THENCE NORTH 89 DEGREES 52 MINUTES 45 SECONDS EAST, 400 FEET TO EAST LINE OF SECTION 22; THENCE ALONG SECTION LINE NORTH 00 DEGREES 08 MINUTES 45 SECONDS WEST, 200 FEET TO THE PLACE OF BEGINNING.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS OVER THE FOLLOWING DESCRIBED PARCEL: COMMENCING AT THE EAST 1/4 POST OF SECTION 22, TOWN 2 SOUTH, RANGE 12 WEST; THENCE NORTH ALONG THE EAST LINE OF SAID SECTION 22, 650.80 FEET TO THE POINT OF BEGINNING; THENCE 33.00 FEET EITHER SIDE OF A LINE RUNNING WEST 400.00 FEET TO THE POINT OF ENDING.

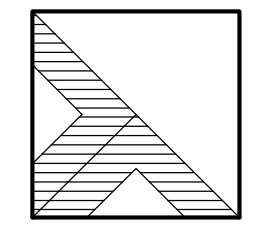
## SCHEDULE B-II EXCEPTIONS FROM: SUN TITLE AGENCY OF MICHIGAN COMMITMENT NO.: 222330 (COMMITMENT DATE: 05/08/2023)

- 12 RIGHT OF WAY IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY), AS RECORDED IN LIBER 273 ON PAGE 535. (BLANKET EASEMENT OVER ENTIRE PARCEL - ROUTE SHOWN ON DRAWING)
- 13 RIGHT OF WAY IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY), AS RECORDED IN LIBER 567 ON PAGE 308. (BLANKET EASEMENT OVER ENTIRE PARCEL - APPROXIMATE ROUTE FALLS OUTSIDE OF DRAWING LIMITS)
- 14 RIGHT OF WAY IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY), AS RECORDED IN LIBER 804 ON PAGE 839. (BLANKET EASEMENT OVER ENTIRE PARCEL - ROUTE SHOWN ON DRAWING)
- 15 EASEMENT IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY), AS RECORDED IN LIBER 901 ON PAGE 191. (SHOWN ON DRAWING)
- 16 TERMS, COVENANTS, AND CONDITIONS OF QUIT CLAIM DEED, AS RECORDED IN LIBER 917 ON PAGE 838. (SHOWN ON DRAWING)
- 17 EASEMENT IN FAVOR OF MICHIGAN BELL TELEPHONE COMPANY, AS RECORDED AS IN LIBER 1193 ON PAGE 1127. (SHOWN ON DRAWING)
- 18 EASEMENT IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY), AS RECORDED IN LIBER 1464 ON PAGE 1450. (SHOWN ON DRAWING)
- 19 EASEMENT IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY), AS RECORDED IN LIBER 1464 ON PAGE 1458. (SHOWN ON DRAWING)
- 20 TERMS, COVENANTS, AND CONDITIONS OF WATER MAIN EASEMENT, AS RECORDED IN INSTRUMENT NO. 2001-010309. (SHOWN ON DRAWING)

NORTHEAST CORNER OF  
SEC 22, T02S, R12W



NOTE: THIS SKETCH IS FOR INFORMATION PURPOSES ONLY. OVERALL BOUNDARY LINES AND DIMENSIONS SHOWN HEREON ARE BASED ON KALAMAZOO COUNTY GIS.



**DRIESENKA & ASSOCIATES, INC.**

Engineering  
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www.driesenga.com

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269-544-1455
- Lansing, MI  
517-889-6210
- Ypsilanti, MI  
734-368-9483

**AGM PARCEL**  
604 S. 8TH STREET, KALAMAZOO, MI 49009  
SECTION 22, T02S, R12W, OSHTEMO TWP., KALAMAZOO CO.  
**-FOR-**  
**NAI WISINSKI OF WEST MICHIGAN**  
100 GRANDVILLE DRIVE SW, GRAND RAPIDS, MI 49503

Drawn By:	GLK
Scale:	1"=80'
Date:	06-13-2023
Project #	2350438.5A
Sheet Title:	SKETCH OF DESCRIPTIONS
Sheet #	V-101

1 of 1

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In response to questions from Ms. Kuntzman, it was noted that the applicant could have a construction sign and a real estate sign placed on its own property, but that these signs would not be visible from 9<sup>th</sup> Street.

The applicant, Dan Jaqua, was present, stating that he felt that the Board should take into account the history of the development. Further, he was concerned about confusion at the 9<sup>th</sup> Street entrance. He felt there was no indication that the Quail Meadows development could be reached from 9<sup>th</sup> Street.

No public comment was offered, and the public hearing was closed.

The Acting Chairperson stated that, in her opinion, the same issues considered by the Board with regard to the Stadium Drive sign were also present concerning the 9<sup>th</sup> Street sign. Ms. Kuntzman felt it would be a mistake to set a precedent which would allow billboard signage, particularly in a residential zoning district.

Mr. Bushouse commented that he was concerned about maintaining the residential character of the 9<sup>th</sup> Street area and noted that the Board had previously made decisions based upon its concern that there not be a lot of signage in this area. Mr. Corakis agreed.

Mr. Bushouse moved to deny deviation based on the prior reasoning of the Board concerning the Stadium Drive sign, and based upon a finding that such signage would be contrary to and detrimental to the character of the 9<sup>th</sup> Street area. Mr. Corakis seconded the motion, and the motion carried unanimously.

### **LAAKSONEN - FRONTAGE AND AREA VARIANCE - 628 SOUTH 8<sup>TH</sup> STREET (PARCEL NO. 3905-22-285-025)**

The Board considered an application by Kevin Laaksonen for a variance from the frontage and area requirements of the Zoning Ordinance concerning property at 628 South 8<sup>th</sup> Street, which is within the "I-1" Industrial District, and is Parcel No. 3905-22-285-025).

The Report of the Planning and Zoning Department is incorporated herein by reference.

Mrs. Bugge reviewed a history of the site, including the fact that the parcel was created in 1983. In 1985, there was a request for expansion of the existing building and for an additional building. This request for frontage variance was denied. In 1995, a variance was granted for width less than 120 feet at the building setback to permit platting or establishment of a site condominium project. In August of 1995, site condominium review and approval was granted for the subject site, and the parcel to the east, those being 628 and 624 South 8<sup>th</sup> Street. However, the Kalamazoo County Health Department would not approve the project without public water or a test well to obtain suitable water, and therefore, the Master Deed was not recorded.

Public water is now available to the site, and therefore, the applicant could, given the existing variance, establish a one-lot plat or could establish the site condominium with

the adjacent property if that owner were willing. The site could also continued to be used "as is".

It was noted that there is an existing 66-foot right-of-way, 33 feet of which is on the subject site, granted to the Township which was at one time intended for the placement of a public road. There is a drive located on the 66 feet shared by the subject site, by the parcel to the east (-030) and by the adjacent site recently under development by Architectural Glass and Metal (AGM).

Walter Laaksonen and his brother, Kevin, were present. Walter Laaksonen stated that he is an attorney and was representing his brother in the application. He emphasized that the only way to expand the existing building in compliance with the Ordinance would be to plat, and he felt that platting would not provide any benefit to the neighboring properties or the community. He felt site condominiumization was not available because two units were necessary. The applicant was seeking to expand his building to add storage. The applicant was not seeking to establish an additional building as was proposed and turned down in 1985. He stated that the applicant would not be seeking any setback variances for the site. Further, the applicant was not seeking an additional drive.

It was noted that the applicant's property may have been granted a building permit in 1995, based on the assumption that the site condominium was being established.

Mr. Bushouse expressed the concern that a prior owner had known the limitations on the number of sites which could be created but had disregarded them. He was concerned that the 66-foot right-of-way had been required so as to provide for the opportunity of public road. He was concerned that this roadway being used by three properties would not be taken care of.

Mr. Bushouse felt it was significant that the applicant was seeking only to expand the building and not add an additional building. Further, he felt that it was important that this area was in an "I-1" Zoning District.

Mr. Bushouse moved to grant a variance from the front footage and dimensional requirements so as to allow for the enlargement of the building at the subject property. He reasoned that the variance would be consistent with the spirit and intent of the Ordinance, given the character of the area, the "I-1" zoning and given that only a building enlargement, and not an additional building, was at issue. He noted that the property is utilizing a shared drive and that no new drive would be created on 8<sup>th</sup> Street. Additionally, he referenced the history behind the creation of Parcels -025, -030, and the parcels used by AGM. The variance is conditioned upon a shared drive maintenance and improvement agreement between the owner of the subject site, Parcel -030 and the AGM property. Mr. Corakis seconded the motion. The motion carried unanimously.

## OTHER BUSINESS

The Board considered the proposed meeting dates for the 2002 calendar year. Mr. Jensen moved to adopt the meeting dates, which would be for the third Monday of the month. Mr. Bushouse seconded the motion, and the motion carried unanimously.



May 7, 2024

Zoning Board of Appeals  
Oshtemo Township  
7275 W. Main Street  
Kalamazoo, MI 49009  
Via Email @ [oshtemo@oshtemo.org](mailto:oshtemo@oshtemo.org)

***RE: Support of Frontage Variance Application by Move Up, LLC, related to the neighboring property at 692 S. 8<sup>th</sup> Street, Kalamazoo***

To the Zoning Board of Appeals:

I am writing to the Zoning Board of Appeals in support of the frontage variance request to be evaluated at the ZBA hearing on May 21, 2024, at the Oshtemo Township Hall for the property commonly known as 692 S. 8<sup>th</sup> Street.

As the owner of the neighboring property at 7106 W. KL Avenue, I have no opposition to the township granting the requested frontage variance of approximately 21.57' for the 692 S. 8<sup>th</sup> Street property so that the property can be split and sold to Move Up, LLC. In my opinion, approval of the variance would not have an adverse impact on my adjacent property. Additionally, the applicant did try to purchase additional land from me to create the total needed lineal frontage but the lender for my mortgage was not cooperative.

Thank you in advance for your support of this request. Should you have any questions, please do not hesitate to call me at (303) 778-0380.

Best regards,  
Elken Family Partnership, LLLP

Stephen F. Elken  
Owner

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May 16, 2024

**Mtg Date:** May 21, 2024

**To:** Oshtemo Township Zoning Board of Appeals

**From:** Leeanna Harris, Zoning Administrator

**Applicant:** Joseph Townsend

**Owner:** Dunshee Auto and Body

**Property:** Property west of 6585 W Kl Avenue, Parcel Number 05-23-335-021

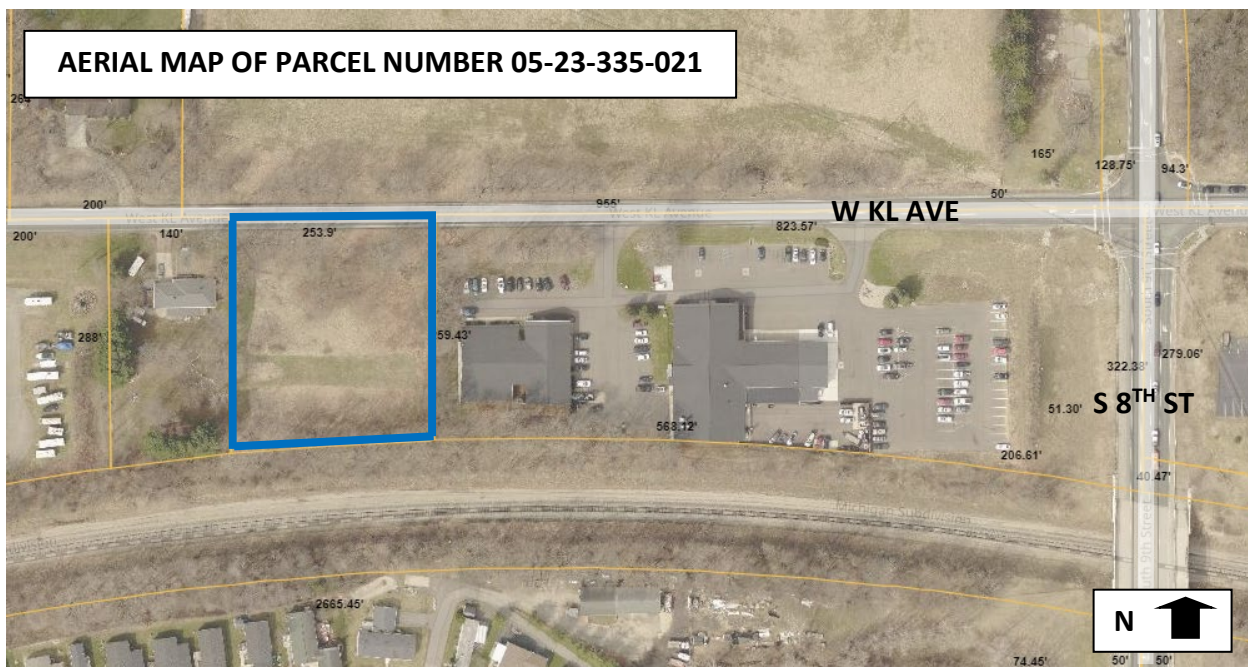
**Zoning:** I-1: Industrial District

**Request:** Site plan approval to construct a new office and vehicle service facility

**Section(s):** 64 – Site Plan Review  
27 – I-1: Industrial District

**PROPOSAL:**

Joseph Townsend, on behalf of Dunshee Auto and Body, is requesting site plan approval to construct an 11,957 square foot building with corresponding site details on Parcel Number 05-23-335-021. The proposed building will serve as an office space and an auto body shop. The project area under consideration is outlined in blue in the map excerpt below.



**ANALYSIS:**

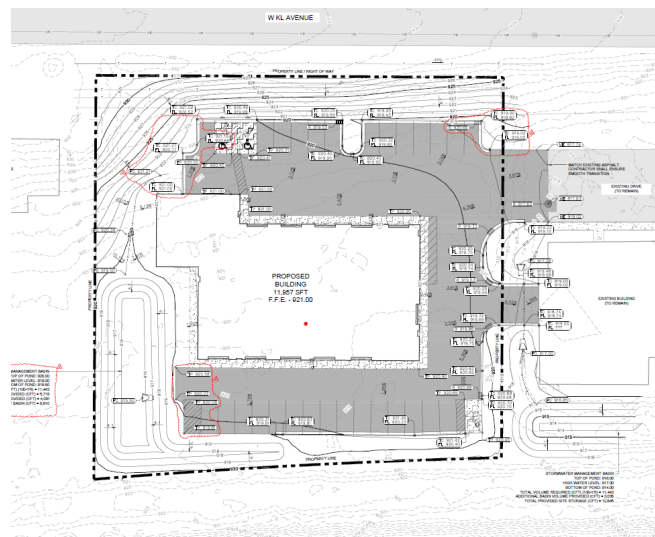
The entirety of the property in question is zoned I-1: Industrial District. Uses permitted in the I-1 zoning district are outlined in Article 27 of the Township’s Zoning Code. Auto body and paint shops are identified as Permitted Uses within this section. New construction of a Permitted Use requires the review and approval of the Zoning Board of Appeals (Section 64.20). Below is an analysis of the proposal against Section 64: Site Plan Review.

**Section 64: Site Plan Review**

**General Zoning Compliance:**

*Zoning:* The site at Parcel Number 05-23-335-021 is zoned I-1: Industrial District. All properties surrounding this proposed new site are also within the I-1 Zoning District. The proposed auto body shop is a Permitted Use by right within said district.

*Lot Dimensions:* Parcels within the I-1 Zoning District require a minimum area of 50,000 square feet and frontage of 200 feet (Section 50.10.A). The proposed Dunshee Auto and Body site has nearly 254 feet of frontage along West KL Avenue and an area of 63,1625 square feet. The proposed property exceeds the dimensional standards of the code. An excerpt of the site plan is provided on the right.



*Setbacks:* Properties within the I-1 District, and located on KL Avenue, have a front yard setback of 70 feet. The minimum setback distance between any building and any rear or interior side property line shall be 20 feet or the height of the abutting side of the building at its highest point as measured from the grade of the property line, whichever is greater (Section 50.60). The proposed building is 19 feet 8 inches at its highest and 18 feet at its eave. 24 feet tall on an overall flat terrain, requiring a 24-foot side and rear yard setback. A 20-foot setback is provided on the east and rear property line and a 35-foot setback is provided on the west property line.

**Access and Circulation**

*Access:* Although the proposed lot has frontage to KL Avenue, the site will be accessed from an existing access drive to the site from the site immediately to the east. No new driveways are proposed to the site. To accomplish this, the applicant will enter into the necessary cross access easement agreements and provide such to the Township prior to building permit issuance. All aisles within the proposed site plan will be a minimum of 24 feet wide.

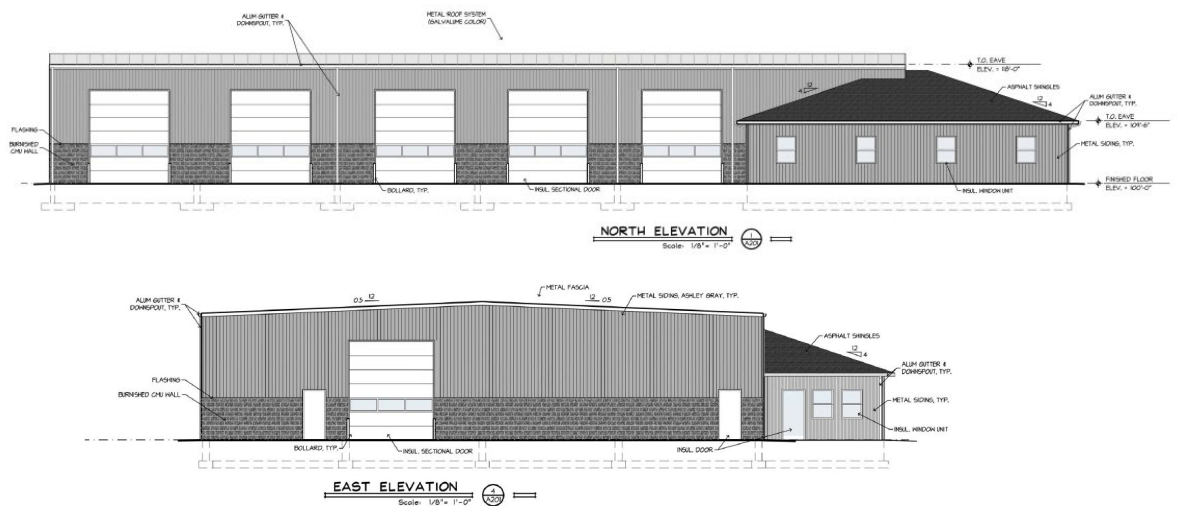
*Parking:* Per Section 52.50, 30 parking spaces are required, and 30 spaces are provided, along with the two required ADA accessible spaces. All stalls are 10 feet by 20 feet, with the ADA spaces being concrete, meeting Township standards.



**Sidewalk:** Per Section 57.90, sidewalks indicated on the Township’s Non-motorized Plan shall be installed by the developer when properties adjacent to planned nonmotorized facilities receive site plan approval from the municipality. The Township’s adopted Non-motorized Plan does not show any facilities on the south side of W KL Avenue, besides a paved shoulder/bike lane. Therefore, this section is not relevant.

**Building Design**

**Façade:** Exterior materials for the proposed Dunshee Auto and Body include Ashley Grey vertical ribbed siding, asphalt roof shingles, burnished CMU wall, aluminum gutter and downspout, and various white doors. Snapshots from the north and east elevation details are included below.



**Trash and Recycling Containers:** The applicant is proposing to locate the site’s dumpster on the far southeast portion of the parking lot away from public view. The screening is proposed to be constructed of wood framing and posts and is proposed to be 6 feet tall from grade. This location and the proposed screening meet the requirements of Code Section 53.60 Screening of Trash and Recycling Containers.

**Lighting:** The applicant has provided a Photometric plan. Eight cut-off wall mounted light fixtures are proposed at 12 feet in height at various locations on the building. Per the Township Lighting Ordinance, wall mounted lights shall not be mounted higher than 14-feet above grade on a building. Requirements for the proposed wall fixtures have been met.

**Signage:** The applicant has indicated that there will not be any new signage. If the applicant chooses to do so, the signage shall be reviewed and approved through the signage application process.

**Landscaping**

The applicant has provided a landscaping plan that meets Township standards. The current plan shows 14 canopy trees, 54 shrubs, and 13 understory trees. A six-foot wood fence has also been proposed on the west property line to provide additional screening and to serve as a buffer between land uses.

**Engineering**

The Oshtemo Township Public Works Department reviewed the project site plan. Overall, most on-site concerns have been addressed; however, there are still a few concerns with respects to stormwater and a few other minor details. Staff is confident that these items can be addressed through administrative review and approval by the Township.

**Fire Department**

The Township Fire Marshal is satisfied with the site design.

**RECOMMENDATION:**

Staff recommends that the Zoning Board of Appeals approve the proposed Site Plan for a 11,957 square foot office and body shop building on Parcel Number 05-23-335-021 for Dunshee Auto and Body with the conditions outlined below.

1. The Environmental Permits Checklist and the Hazardous Substance Reporting Form shall be submitted to Planning Department and approved *prior to* building permit issuance.
2. Copies of the necessary recorded easements shall be provided to Planning Department *prior to the issuance of a certificate of occupancy*.
3. Finalization of any engineering details pertaining to the site plan shall be submitted for administrative review and approval prior to building permit issuance.
4. A SESC Permit will be required from the Kalamazoo County Drain Commission prior to building permit issuance.
5. An address request form shall be submitted and approved by the Township prior to building permit issuance.

Attachments: Application  
Site Plan Set



7275 W. Main Street, Kalamazoo, Michigan 49009-9334  
 Phone: 269-375-4260 Fax: 269-375-7180

**PLEASE PRINT**

PROJECT NAME & ADDRESS

Dunshee Body & Frame Inc - W KI Ave

**PLANNING & ZONING APPLICATION**

Applicant Name: Joseph Townsend

Company: Dunshee Body & Frame Inc

Address: 6585 W KI Ave, Kalamazoo, MI 49009

E-mail: joe@dunsheebody.com

Telephone: 269-375-2100 Fax: \_\_\_\_\_

Interest in Property: Owner

OWNER\*:

Name: Same

Address: \_\_\_\_\_

E-mail: \_\_\_\_\_

Phone & Fax: \_\_\_\_\_

THIS  
SPACE  
FOR  
TOWNSHIP  
USE  
ONLY

Fee Amount \_\_\_\_\_

Escrow Amount \_\_\_\_\_

NATURE OF THE REQUEST: (Please check the appropriate item(s))

- |   |   |
|---|---|
| <input type="checkbox"/> Pre-Application Review                 | <input type="checkbox"/> Accessory Building Review – I083 |
| <input checked="" type="checkbox"/> Site Plan Review – I088     | <input type="checkbox"/> Rezoning – I091                  |
| <input type="checkbox"/> Administrative Site Plan Review – I086 | <input type="checkbox"/> Subdivision Plat Review – I089   |
| <input type="checkbox"/> Special Exception Use – I085           | <input type="checkbox"/> Interpretation – I082            |
| <input type="checkbox"/> Zoning Variance – I092                 | <input type="checkbox"/> Other: _____                     |
| <input type="checkbox"/> Site Condominium – I084                |   |

**BRIEFLY DESCRIBE YOUR REQUEST** (Use Attachments if Necessary): Requesting Site Plan Review for a proposed Dunshee Body & Frame vehicle service building on the property West of their existing property at 6611 W KI Ave in Oshtemo Township, with corresponding parking, utilities, and stormwater management.

**LEGAL DESCRIPTION OF PROPERTY** (Use Attachments if Necessary):

SEC 23-2-12 BEG ON E & W 1/4 LI 1574' E OF W 1/4 POST TH CON'T E ALG SD 1/4 LI 239.9' TH S 258'  
TO MICHIGAN CENTRAL RR ROW TH SWLY ALG SD ROW TO A PT S OF BEG TH N TO BEG

\*\*\*\*\*06/03 SPLIT AND COMBINE FROM 23-335-010 & -020- TO FORM 23-335-011 AND 021\*\*\*\*

**PARCEL NUMBER:** 3905- 05-23-335-021

**ADDRESS OF PROPERTY:** W KI Ave (Property West of 6611 W KI Ave)

**PRESENT USE OF THE PROPERTY:** Vacant

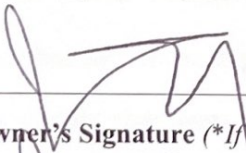
**PRESENT ZONING:** I-1 - Industrial District **SIZE OF PROPERTY:** 1.3 Acres  
Manufacturing & Service

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING  
 A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**


Name(s)	Address(es)
_____	_____
_____	_____

**SIGNATURES**

*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.*

  
**Owner's Signature** (\*If different from Applicant)

2/2/24  
**Date**

  
**Applicant's Signature**

02/02/2024  
**Date**

- Copies to:  
 Planning - 1  
 Applicant - 1  
 Clerk - 1  
 Deputy Clerk - 1  
 Attorney - 1  
 Assessor - 1  
 Planning Secretary - Original

\*\*\*\*\*  
**PLEASE ATTACH ALL REQUIRED DOCUMENTS**

# PRELIMINARY ENGINEERING PLANS

## DUNSHEE BODY & FRAME, INC.

### 6585 W KL AVE

### KALAMAZOO, MI 49009

#### PROJECT TEAM

OWNER: JOE TOWNSEND  
6585 W KL AVE  
KALAMAZOO, MI 49009  
(269) 375 2100

LANDSCAPE ARCHITECT: OCBA  
141 E MICHIGAN AVE  
KALAMAZOO, MI 49007  
(269) 381 3357  
KATIE CHASE

CIVIL ENGINEER: MITTEN STATE ENGINEERING  
10123 S M-43, SUITE E  
DELTON, MI 49046  
(269) 364 5626  
TYLER CRAVENS

SURVEYOR: NEDERVELD, INC.  
217 GRANDVILLE AVE.  
SW STE 302  
GRAND RAPIDS, MI 49503  
(800) 222 1868

GEOTECHNICAL ENGINEER: DRIESEN & ASSOCIATES, INC.  
12330 JAMES STREET, SUITE H80  
HOLLAND, MI 49424  
(616) 396 0255

ARCHITECT: SLOCUM ARCHITECTS  
5945 WEST MAIN STREET  
SUITE 102  
KALAMAZOO, MI 49009  
(269) 381 2420  
JEFF CRITES

#### UTILITY AND AGENCY CONTACTS

ELECTRIC: CONSUMERS ENERGY  
(800) 778 9140

FIBER OPTIC: CHARTER COMMUNICATIONS  
(800) 778 9140

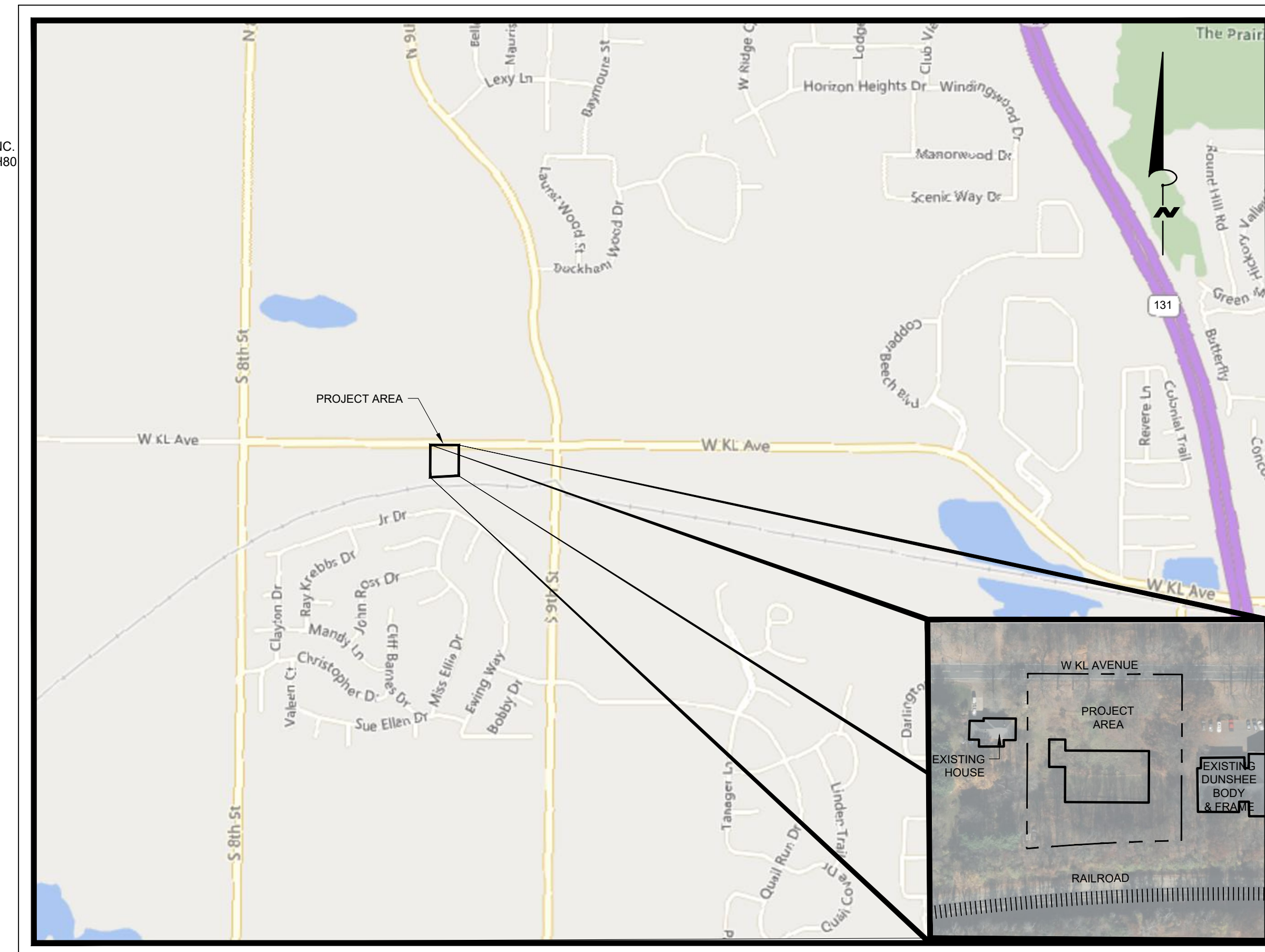
GAS: CONSUMERS ENERGY  
(800) 778 9140

TELEPHONE: AT&T TELEPHONE  
1435 MILTON STREET  
BENTON HARBOR, MI  
CHRIS O'BRIEN  
(810) 407 3523

WATER / SEWER: KALAMAZOO CITY DPS  
POTABLE WATER  
150 E CROSSTOWN PARKWAY  
SUITE A  
KALAMAZOO, MI 49001  
(269) 337 9000  
311@KALAMAZOOCITY.ORG

OSHTEMO CHARTER TOWNSHIP  
SANITARY SEWER  
7275 W MAIN STREET  
KALAMAZOO, MI 49009  
(269) 216 5252  
PUBLICWORKS@OSHTEMO.ORG

"MISS DIG" 811



LOCATION MAP  
N.T.S.

#### PROJECT NOTES

- THE "2020 STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND "STANDARD PLANS" BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) ARE HEREBY INCORPORATED INTO THESE CONTRACT DOCUMENTS.
- THE PLACING OF TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE DONE IN ACCORDANCE WITH THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD), AS AMENDED.
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND/OR PLANS PREPARED BY OTHERS. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING ALL BONDS AND INSURANCE CERTIFICATES AND SUBMITTING TRAFFIC CONTROL PLANS FOR REVIEW AND APPROVAL WHICH MAY BE REQUIRED BY THE CITY, TOWNSHIP, AND/OR MDOT FOR THE CONSTRUCTION OF THIS PROJECT WITHIN THE ROAD RIGHT-OF-WAY. THE CONTRACTOR SHALL APPLY FOR THESE PERMITS UNLESS OTHERWISE NOTED.
- IN ACCORDANCE WITH PUBLIC ACT 174 OF 2013, ALL CONTRACTORS SHALL CALL MISS DIG @ 811 OR 800-428-7171 FOR PROTECTION OF UNDERGROUND UTILITIES A MINIMUM OF THREE FULL WORKING DAYS (EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS) PRIOR TO BEGINNING EACH EXCAVATION IN ANY AREA. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

#### SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C100	EXISTING CONDITIONS AND DEMOLITION PLAN
C101	SITE PLAN
C102	GRADING PLAN
C103	UTILITY PLAN
C104	EROSION CONTROL PLAN
C105	EROSION CONTROL DETAILS
C106	CONSTRUCTION DETAILS
PH101	PHOTOMETRIC PLAN
L101	LANDSCAPE PLAN

#### LEGAL DESCRIPTION

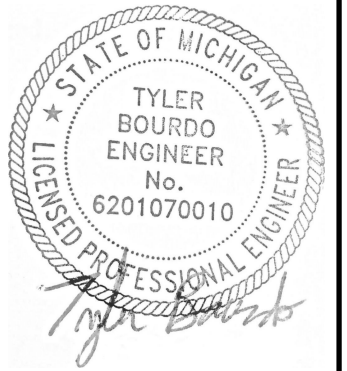
SEC 23-2-12 BEG ON E & W 1/4 LI 1574' E OF W 1/4 POST TH CONT E ALG SD 1/4 LI 239.9' TH S 258' TO MICHIGAN CENTRAL RR ROW TH SWLY ALG SD ROW TO A PT S OF BEG TH N TO BEG \*\*\*\*\*06/03 SPLIT AND COMBINE FROM 23-335-010 & -020- TO FORM 23-335-011 AND 021\*\*\*\*

No.	REVISIONS	DATE	BY
1	PER TOWNSHIP SPR REVISION #1	03/05/2024	TLB
2	PER TOWNSHIP SPR REVISION #2	03/29/2024	TLB
3	PER TOWNSHIP COMMENT	04/18/2024	TLB



ADDRESS:  
10123 S M43, SUITE E  
DELTON, MI 49046  
PHONE:  
(269) 364-5626

SCALE: AS NOTED  
DESIGNED BY: TLB  
DRAWN BY: CRZ  
CHECKED BY: TWC



**PRELIMINARY**  
NOT FOR CONSTRUCTION

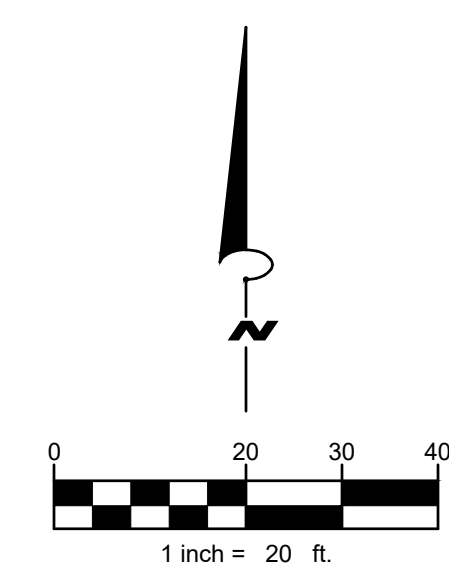
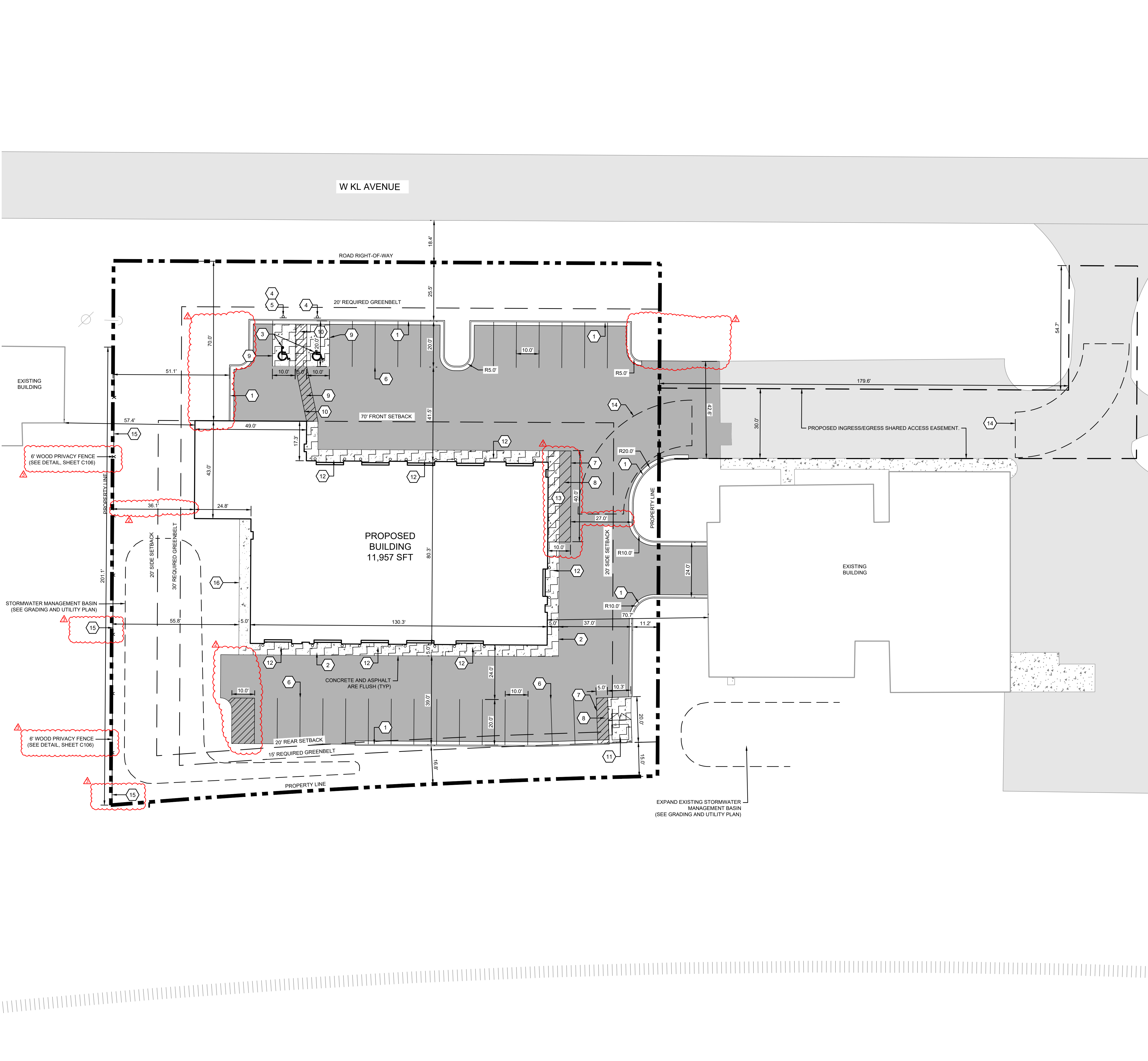
COVER SHEET

DUNSHEE  
BODY & FRAME, INC.  
KALAMAZOO, MI

ORIGINAL ISSUE:  
02/06/2024

PROJECT NO.  
23132

SHEET NUMBER  
C001



**SITE INFORMATION**

ZONING:	I-1 INDUSTRIAL
SITE AREA:	1.28 ACRES (55,554 SF)
BUILDING AREA:	11,957 SF (21%)
BUILDING HEIGHT:	18' AT EAVE, 19'8" AT PEAK
NUMBER OF STORIES:	3
IMPERVIOUS COVERAGE:	33,968 SF (61%)
PROPOSED GREEN SPACE:	21,588 SF (39%)
<b>BUILDING SETBACKS:</b>	
FRONT:	70 FT FROM ROAD RIGHT-OF-WAY
SIDE:	20 FT
REAR:	20 FT
<b>OFF-STREET PARKING REQUIREMENTS (S2.110C OTHER USES):</b>	
STANDARD PARKING SPACE:	20 FT X 10 FT
30 PARKING SPACES AS DIRECTED BY TOWNSHIP ZONING ADMINISTRATOR	
TOTAL SPACES REQUIRED:	30 SPACES
TOTAL SPACES PROVIDED:	30 SPACES
ADA PARKING SPACES REQUIRED:	2
ADA PARKING SPACES PROVIDED:	2

**SITE GENERAL NOTES**

1. DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON SITE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
3. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING, UNLESS NOTED OTHERWISE.
4. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.

**KEY NOTES**

- 1 TYPE F4 CURB AND GUTTER (SEE DETAILS)
- 2 HEAVY DUTY CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- 3 ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- 4 ACCESSIBLE PARKING SIGN, TYP. (MUTCD D9-6) (MICHIGAN ACT 182 AND 183)
- 5 ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8P) (MICHIGAN ACT 182 AND 183)
- 6 4" WIDE PAINTED SOLID WHITE LINE, TYP.
- 7 4" WIDE PAINTED SOLID YELLOW LINE, TYP.
- 8 4" WIDE PAINTED SOLID YELLOW LINE AT 45 DEGREES, TYP.
- 9 4" WIDE PAINTED SOLID BLUE LINE, TYP.
- 10 4" WIDE PAINTED SOLID BLUE LINE AT 45 DEGREES, TYP.
- 11 REFUSE ENCLOSURE (SEE DETAILS)
- 12 CONCRETE FILLED BOLLARD, 22 TOTAL (SEE DETAILS)
- 13 DESIGNATED LOADING AND UNLOADING AREA
- 14 FIRE TRUCK TURNING RADIUS (30/50)
- 15 6" PRIVACY FENCE (SEE DETAILS)
- 16 STANDARD DUTY CONCRETE SIDEWALK

**PAVEMENT LEGEND**

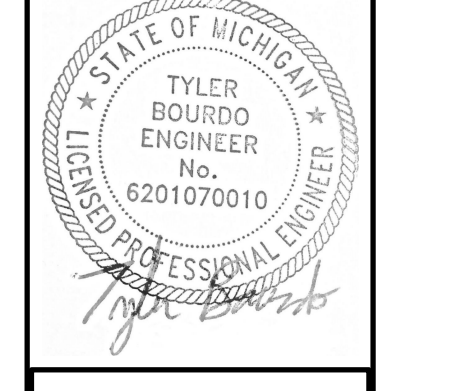
- STANDARD DUTY CONCRETE PAVEMENT: SEE DETAILS
- HEAVY DUTY CONCRETE PAVEMENT: SEE DETAILS
- STANDARD DUTY PAVEMENT:  
1.5" HMA (165#/SYD) SE1 TOP COURSE  
1.5" HMA (165#/SYD) 4E1 LEVELING COURSE  
8" AGGREGATE BASE, 22A  
12" SUBBASE, CIP

NO.	REVISIONS	DATE	BY
1	PER TOWNSHIP SPR REVISION #1		
2	PER TOWNSHIP SPR REVISION #2		
3	PER TOWNSHIP COMMENT		

ADDRESS:  
10123 S M43, SUITE E  
DELTON, MI 49046

PHONE:  
(269) 364-5626

SCALE: AS NOTED  
DESIGNED BY: TLB  
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CHECKED BY: TWC



**PRELIMINARY**  
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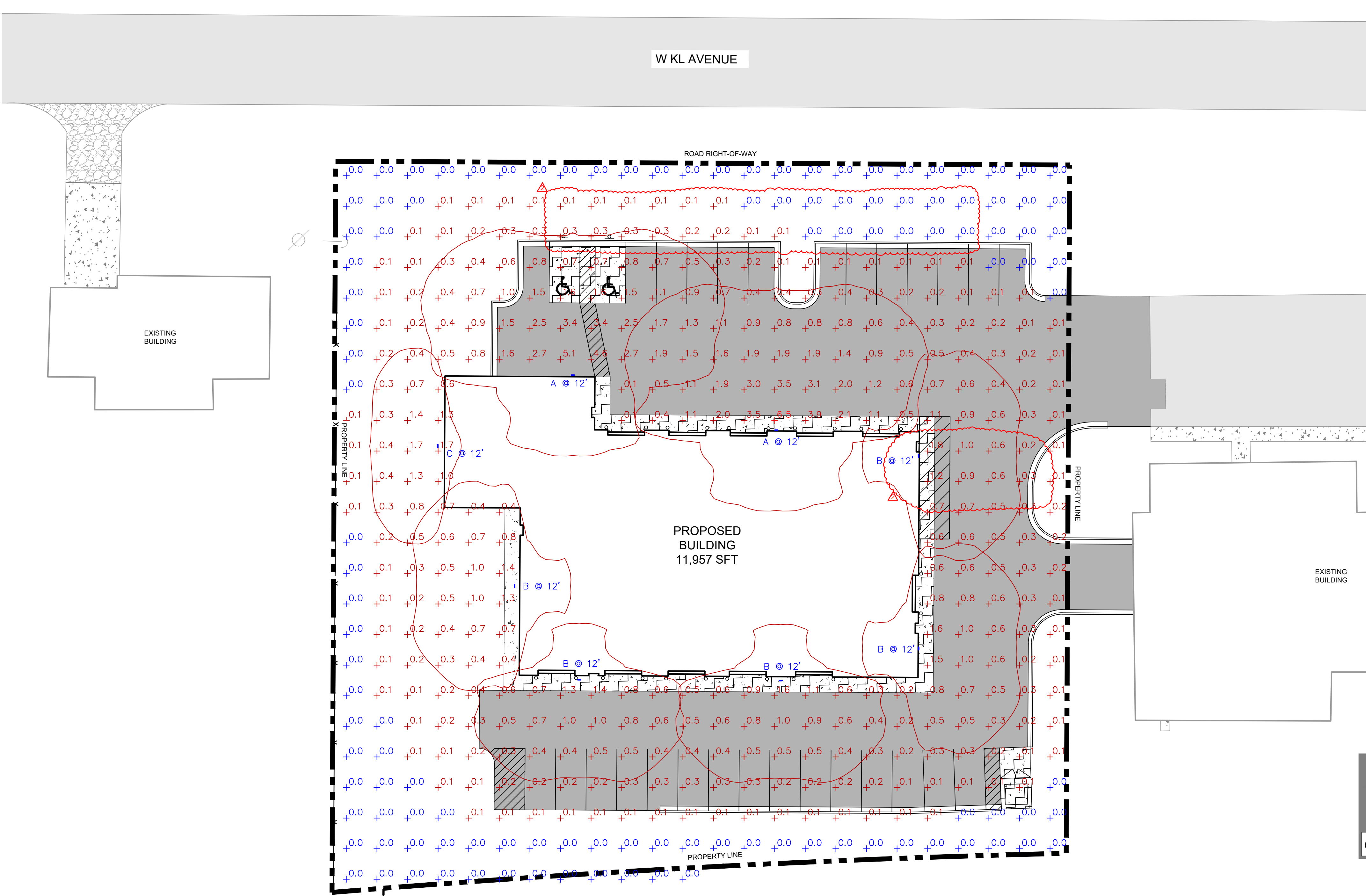
**SITE PLAN**

DUNSHEE  
BODY & FRAME, INC.  
KALAMAZOO, MI

ORIGINAL ISSUE:  
02/06/2024

PROJECT NO.  
23132

SHEET NUMBER  
C101



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #3	+	0.5 fc	6.5 fc	0.0 fc	N/A	N/A

Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	A		2	Lithonia Lighting	DSXW1 LED 20C 1000 40K T4M MVOLT DDBXD	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 1000mA. KELVIN RATING CRI = 70	1	7420	1	73.2	 Max: 4944cd
	B		5	Lithonia Lighting	DSXW1 LED 10C 530 40K T4M MVOLT DDBXD	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 530mA. KELVIN RATING CRI = 70	1	2115	1	19.1	 Max: 1409cd
	C		1	Lithonia Lighting	DSXW1 LED 10C 350 40K T2S MVOLT DDBXD	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T2S OPTIC, 4000K, @ 350mA. KELVIN RATING CRI = 70	1	1520	1	13.3	 Max: 970cd

03/05/2024	TLB	BY
03/29/2024	TLB	
04/18/2024	TLB	
PER TOWNSHIP SPR REVISION #1		
PER TOWNSHIP SPR REVISION #2		
PER TOWNSHIP COMMENT		
1		
2		
3		
No.	REVISIONS	DATE

ADDRESS: 10123 S M43, SUITE E  
DELTON, MI 49046  
PHONE: (269) 364-5626

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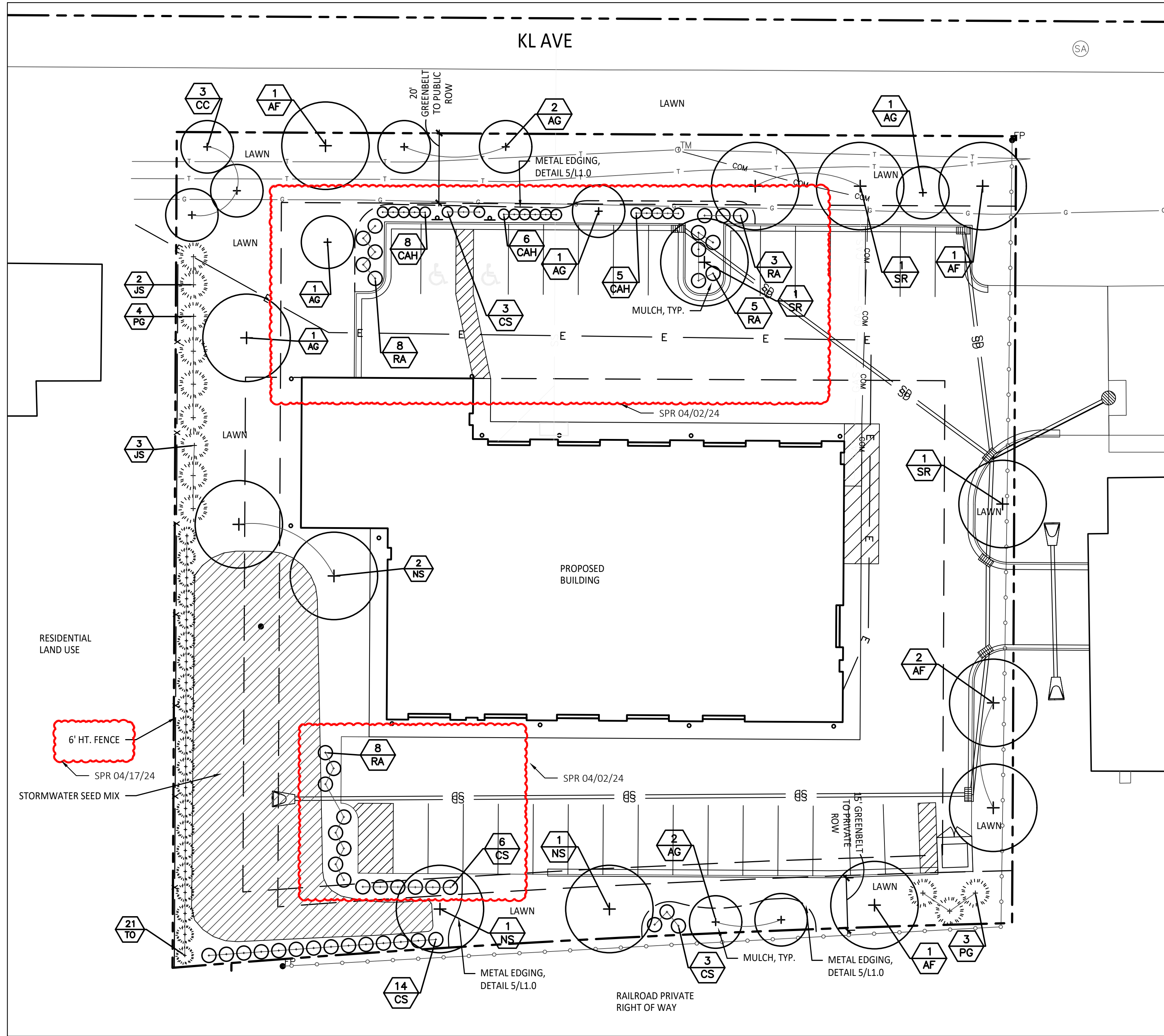
STATE OF MICHIGAN  
TYLER BOURDO  
ENGINEER  
No. 6201070010  
PROFESSIONAL ENGINEER

**PRELIMINARY**  
NOT FOR CONSTRUCTION

PHOTOMETRIC PLAN

DUNSHEE  
BODY & FRAME, INC.  
KALAMAZOO, MI

ORIGINAL ISSUE:  
02/06/2024  
PROJECT NO.  
23132  
SHEET NUMBER  
PH101



### ZONING REQUIREMENTS

**ZONING DISTRICT:** I-1 INDUSTRIAL DISTRICT, MANUFACTURING/SERVICING

**ADJACENT PROPERTIES:** INDUSTRIAL ZONED TO THE EAST AND WEST, RESIDENTIAL LAND USE ADJACENT ON THE WEST, RAILROAD PRIVATE RIGHT-OF-WAY TO THE SOUTH.

**LANDSCAPE BUFFER**

- 30 FT. WIDE LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL PROPERTY WITH 2 CANOPY TREES + 2 EVERGREEN TREES + 2 UNDERSTORY TREES FOR EVERY 100 LINEAR FT. + SCREENING UP TO 6' HT.
- EVERGREENS MAY BE SUBSTITUTED FOR CANOPY OR UNDERSTORY TREES
- 240 LINEAR FT. BOUNDARY = 6 CANOPY TREES + 6 EVERGREEN TREES + 6 UNDERSTORY TREES + SCREENING OR 18 EVERGREENS + SHRUB SCREENING

**PARKING LOT LANDSCAPING**

LOTS WITH 11 OR MORE SPACES REQUIRE 25 SF PER SPACE OF ISLANDS/PENINSULAS 1 CANOPY TREE AND 2 SHRUBS FOR EVERY 200 SF OF REQ'D LANDSCAPING

30 SPACES = 750 SF OF ISLANDS/PENINSULAS WITH 4 CANOPY TREES AND 8 SHRUBS

**GREENBELTS**

20 FT. WIDE ALONG PUBLIC ROW (NORTH ALONG KL AVE)

MIN. OF 1 CANOPY TREE + 2 UNDERSTORY TREES FOR EVERY 100 LF  
1.5 SHRUBS FOR EVERY 1 PARKING SPACE  
15 PARKING SPACES = 23 SHRUBS  
REMAINDER LANDSCAPED WITH GRASS, GROUND COVER, SHRUBS, ETC.  
240 LF. = 3 CANOPY TREES + 5 UNDERSTORY TREES

15 FT. WIDE ALONG PRIVATE ROW (SOUTH ALONG RAILROAD)

MIN. OF 1 CANOPY TREE + 2 UNDERSTORY TREES FOR EVERY 100 LF  
1.5 SHRUBS FOR EVERY 1 PARKING SPACE  
15 PARKING SPACES = 23 SHRUBS  
REMAINDER LANDSCAPED WITH GRASS, GROUND COVER, SHRUBS, ETC.  
240 LF. = 3 CANOPY TREES + 5 UNDERSTORY TREES

**INTERIOR LANDSCAPING**

10% OF THE DEVELOPED AREA OF THE PARCEL LANDSCAPED  
1 CANOPY TREE FOR EVERY 1,500 SF + 1 UNDERSTORY TREE FOR EVERY 2,500 SF  
55,554 SFT OF DEVELOPED AREA  
10% = 5,555 SFT WHICH REQUIRES 4 CANOPY TREES + 3 UNDERSTORY TREES

**NATIVE SPECIES**

75% OF ALL TREES NATIVE  
50% OF ALL LANDSCAPE MATERIAL

### LANDSCAPE NOTES:

- SURVEY OF EXISTING CONDITIONS PROVIDED BY MITTEN STATE ENGINEERING, 10123 S M43, SUITE E, DELTONT, MICHIGAN 49046, (269) 364-5626.
- CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY FOR RESOLUTION.
- IN AREAS OF NEW TURF PLACE 4" MINIMUM TOPSOIL, FINE GRADE & ESTABLISH TURF WITHIN SEED LIMIT LINES.
- PLACE SHREDDED HARDWOOD MULCH TO A 3" DEPTH IN ALL TREE & SHRUB BEDS & TO A 2" DEPTH IN ALL GROUND COVER BEDS.
- UNLESS OTHERWISE NOTED, TOPSOIL, FINE GRADE AND SEED ALL DISTURBED AREAS WITHIN THE SEEDING LIMIT SHOWN AND AREAS DISTURBED BY CONSTRUCTION.
- REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK LINE TO ORIGINAL CONDITION.
- PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.
- ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.
- ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
- CONTRACTOR RESPONSIBLE TO LOCATE SITE LIGHTING SERVICES. CONTRACTOR RESPONSIBLE TO NOTIFY CONSTRUCTION MANAGER IF DAMAGE TO LIGHTING ELECTRICAL DISTRIBUTION OCCURS.
- ALL AREAS OF TREE CLEARING SHALL BE STAKED FOR ARCHITECTS APPROVAL PRIOR TO CLEARING.
- UNLESS OTHERWISE SPECIFIED, ALL PERENNIALS, GRASSES AND GROUNDCOVERS SHALL BE GROWN IN THEIR CONTAINER FOR ONE YEAR PRIOR TO INSTALLATION.

**Slocum Architects**

5945 West Main Street, Suite 102  
Kalamazoo, Michigan 49009  
Ph (269)381-2420 Fax (269)381-3399  
www.slocumarchitects.com

### PLANT LIST:

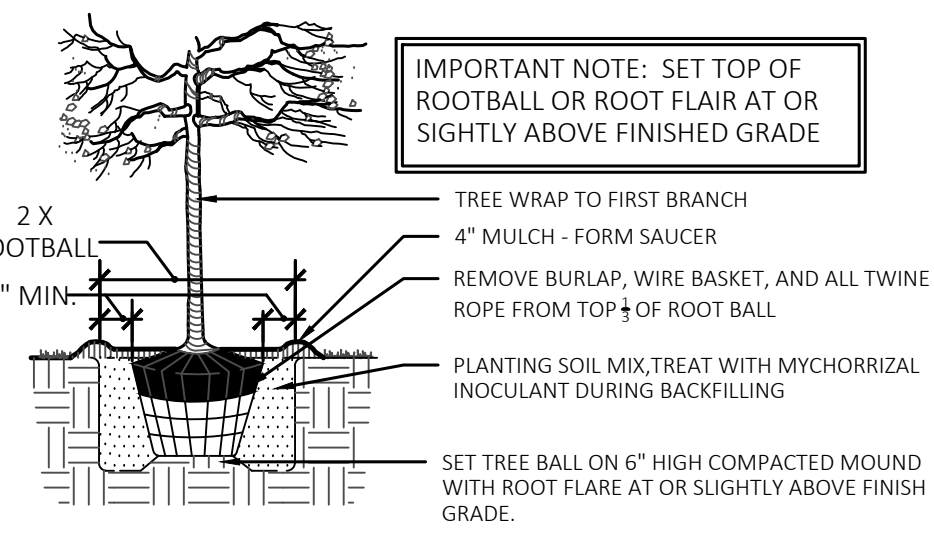
	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	STATUS
TREES	AF	Acer x freemanii 'Marmo'	Marmo Freeman Maple	2" CAL.	B&B	PER PLANS	NATIVAR
	AG	Amelanchier x grandiflora 'Robin Hill'	Robin Hill Serviceberry	2" CAL.	B&B	PER PLANS	NATIVAR
	CC	Carpinus caroliniana	Hornbeam	2" CAL.	B&B	PER PLANS	NATIVE
	NS	Nyssa sylvatica	Black Gum	2" CAL.	B&B	PER PLANS	NATIVE
EVERGREENS	SR	Syringa reticulata	Japanese Tree Lilac	2" CAL.	B&B	PER PLANS	NON-NATIVE
	JS	Juniperus scopulorum 'Wichita'	Wichita Blue Juniper	8'-10' HL.	B&B	PER PLANS	NATIVAR
	PG	Picea glauca 'Densata'	Black Hills Spruce	8'-10' HL.	B&B	PER PLANS	NATIVAR
	TO	Thuja occidentalis 'Degroot's Spire'	Degroot's Spire Arborvitae	6' HT.	B&B	PER PLANS	NATIVAR
SHRUBS	CAH	Clethra alnifolia 'Hummingbird'	Sweet Pepperbush	24" HL.	CONT.	3' O.C.	NON-NATIVE
	CS	Cornus sericea	Red Twig Dogwood	24" HL.	CONT.	5' O.C.	NATIVE
	RA	Rhus aromatica 'Gro Low'	'Gro Low' Sumac	2 GAL.	CONT.	5' O.C.	NATIVAR

### PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION	DETAIL
(+)	PROPOSED DECIDUOUS TREE	2 / L101
(*)	PROPOSED EVERGREEN TREE	4 / L101
(O)	PROPOSED SHRUB	3 / L101
(Hatched Box)	STORMWATER SEED MIX	SEE SPECS
(Dashed Line)	METAL EDGING	5 / L101
(X)	6' WOOD FENCE	REFER TO CIVIL
(Solid Line)	PROPERTY LINE	SPR 04/17/24
(6 Bn)	PLANT TAG- REFERS TO TYPE AND NUMBER OF PLANTINGS TO BE PROVIDED AND MAINTAINED BY CONTRACTOR.	

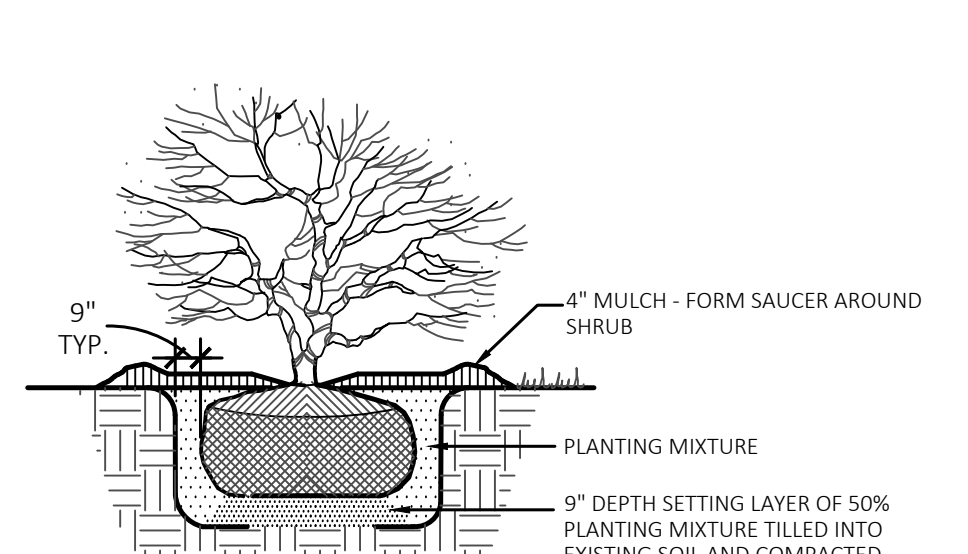
### 1 Landscape Plan

Scale: 1" = 20'-0"



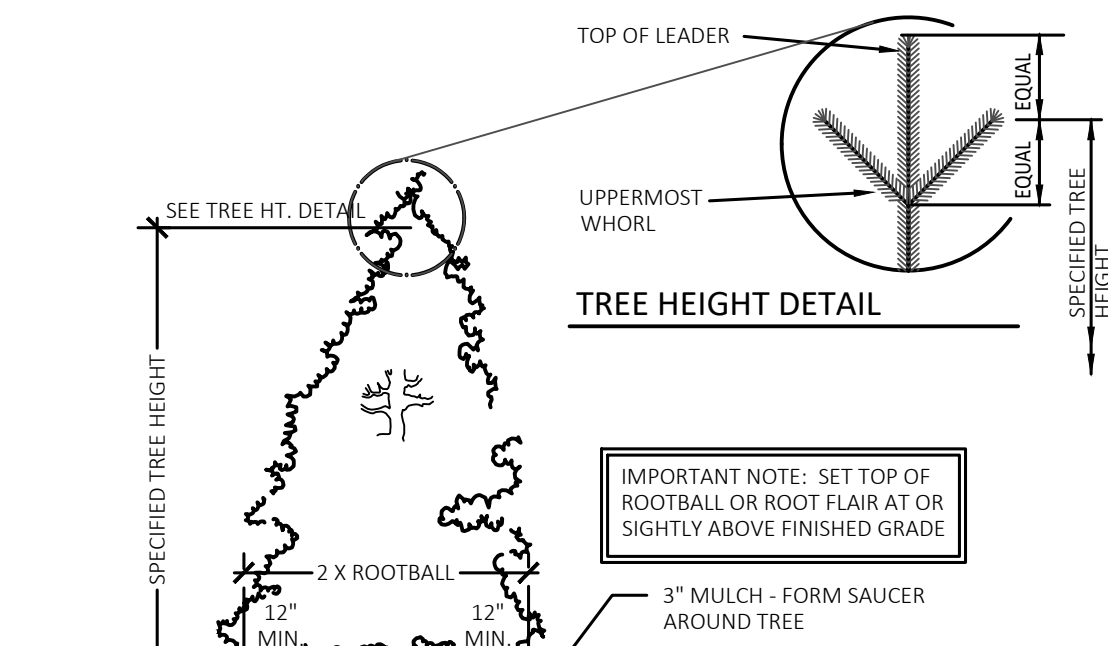
### 2 Deciduous Tree Planting Detail

Not To Scale



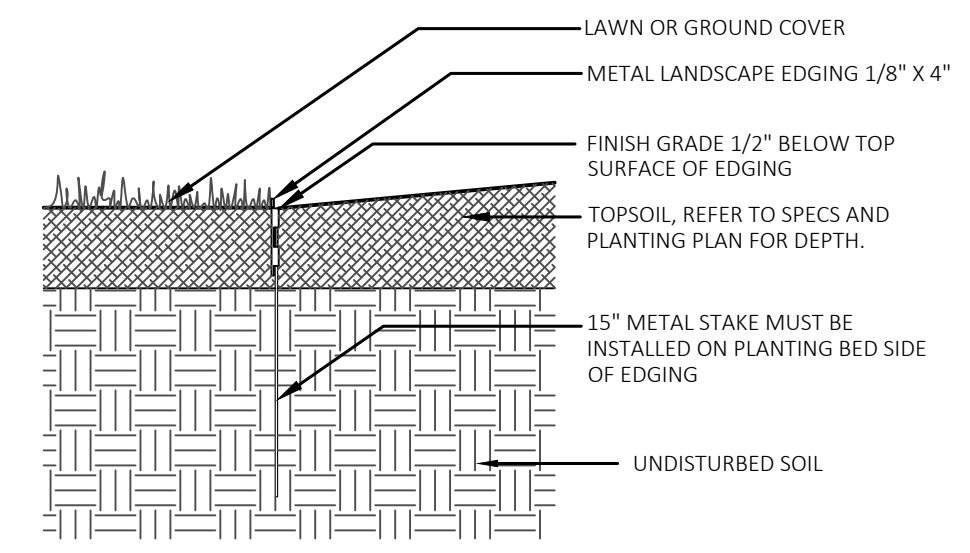
### 3 Shrub Planting Detail

Not To Scale



### 4 Conifer Planting Detail

Not To Scale



### 5 Metal Edging Detail

Not To Scale

NEW FACILITY FOR:

# DUNSHEE BODY AND FRAME, INC.

6585 W. KL AVE.  
KALAMAZOO, MI 49009

SHEET TITLE  
**LANDSCAPE PLAN**  
FILE NAME

ISSUED

SITE PLAN REVIEW - 02/06/24

SITE PLAN REVIEW - 03/05/24

SITE PLAN REVIEW - 04/02/24

REVISED 04/17/24

PRELIMINARY

JOB NUMBER  
2320

**OCBA**  
LANDSCAPE ARCHITECTS

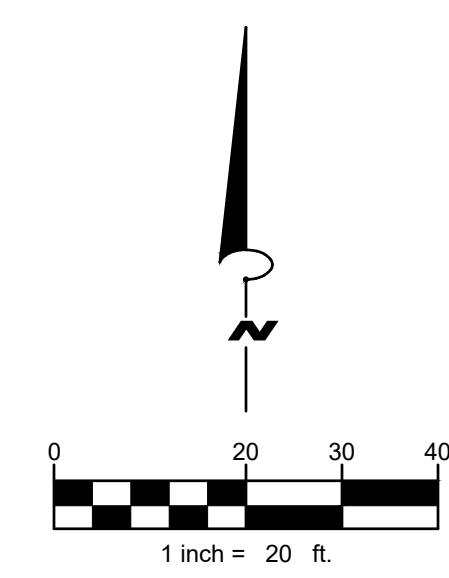
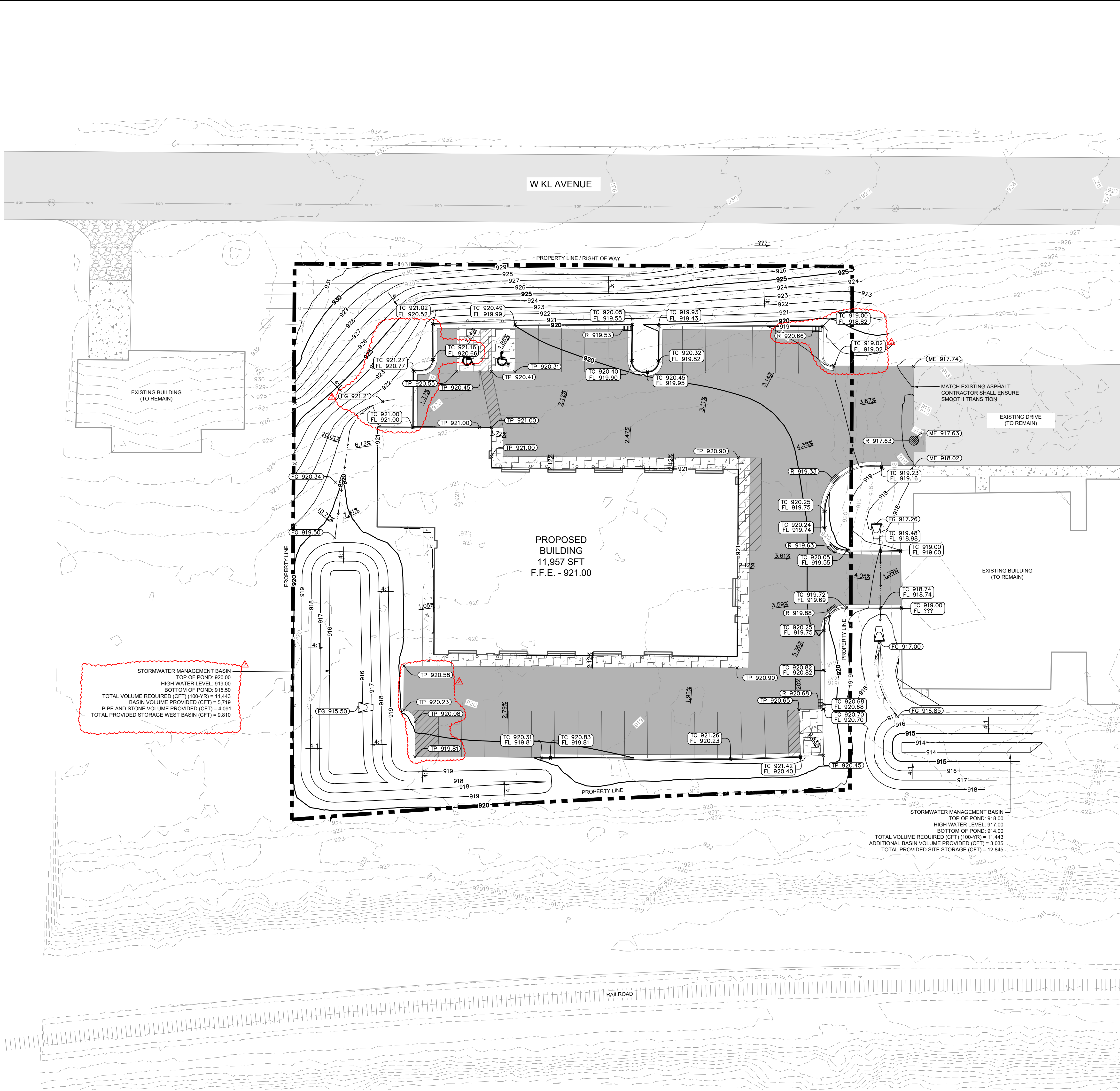
141 E. Michigan Avenue, Suite 500  
Kalamazoo Michigan 49007  
Phone (269) 381-3357  
Fax (269) 381-2944

STATE OF MICHIGAN  
DEBORAH DAWE  
LANDSCAPE ARCHITECT  
License No. 3901047084  
LICENSED LANDSCAPE ARCHITECT

0 20 40 60  
North  
SCALE IN FEET

**L101**





**GRADING NOTES**

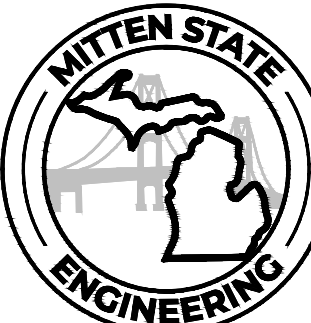
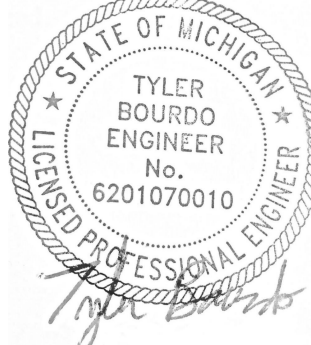
1. CONTRACTOR SHALL COORDINATE WITH EXCAVATOR, LANDSCAPE, AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
2. ALL EARTHEN SLOPES SHALL BE LESS THAN 4:1 UNLESS OTHERWISE NOTED
3. THE MAXIMUM RUNNING SLOPE FOR ALL SIDEWALK SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2%.
4. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
5. THE CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS UNLESS OTHERWISE NOTED.
6. TOP OF ASPHALT CURB SHALL BE 0.25' HIGHER THAN FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED.
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM THE CURB, THE CONTRACTOR SHALL INSTALL REVERSE GUTTER FITCH.
8. CONTRACTOR SHALL REMOVE AND STOCKPILE TOPSOIL FROM ALL DISTURBED AREAS DURING CONSTRUCTION. TOPSOIL SHALL NOT BE USED AS FILL FOR ANY PAVEMENT, SIDEWALK, BUILDING, STORMWATER MANAGEMENT SYSTEM, OR SANITARY SEWER SYSTEM.
9. CONTRACTOR SHALL EXCAVATE UNSUITABLE MATERIALS IN THE STORMWATER MANAGEMENT POND FOOTPRINT AND REPLACE WITH CLASS II SAND TO GRADE.
10. THE CONTRACTOR SHALL NOTIFY MISS DIG (800-482-7171) TO COORDINATE FIELD LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

**GRADING LEGEND**

- TC = TOP OF CURB
- ME = MATCH ELEVATION
- R = RIM ELEVATION
- FG = FINISH GRADE
- FL = FLOW LINE
- TP = TOP OF PAVEMENT
- XXX --- EXISTING CONTOUR
- XXX --- PROPOSED CONTOUR
- RIDGE --- RIDGE LINE
- SWALE --- PROPOSED SWALE

STORMWATER MANAGEMENT BASIN  
 TOP OF POND: 920.00  
 HIGH WATER LEVEL: 919.00  
 BOTTOM OF POND: 915.50  
 TOTAL VOLUME REQUIRED (CFT) (100-YR) = 11,443  
 BASIN VOLUME PROVIDED (CFT) = 5,719  
 PIPE AND STONE VOLUME PROVIDED (CFT) = 4,091  
 TOTAL PROVIDED STORAGE WEST BASIN (CFT) = 9,810

STORMWATER MANAGEMENT BASIN  
 TOP OF POND: 918.00  
 HIGH WATER LEVEL: 917.00  
 BOTTOM OF POND: 914.00  
 TOTAL VOLUME REQUIRED (CFT) (100-YR) = 11,443  
 ADDITIONAL BASIN VOLUME PROVIDED (CFT) = 3,035  
 TOTAL PROVIDED SITE STORAGE (CFT) = 12,845

03/05/2024	TLB	BY
03/29/2024	TLB	
04/18/2024	TLB	
1	PER TOWNSHIP SPR REVISION #1	DATE
2	PER TOWNSHIP SPR REVISION #2	NO.
3	PER TOWNSHIP COMMENT	REVISIONS
		
ADDRESS: 10123 S M43, SUITE E DELTON, MI 49046 PHONE: (269) 364-5626		
SCALE: AS NOTED	DESIGNED BY: TLB	CHECKED BY: TWC
	DRAWN BY: CRZ	
		
<p><b>PRELIMINARY</b>          NOT FOR CONSTRUCTION</p>		
<p><b>GRADING PLAN</b></p>		
<p>DUNSHEE          BODY &amp; FRAME, INC.          KALAMAZOO, MI</p>		
ORIGINAL ISSUE: 02/06/2024		
PROJECT NO. 23132		
SHEET NUMBER C102		

**GENERAL ARCHITECTURAL NOTES:**

1. ALL CUTTING AND PATCHING SHALL BE BY THE TRADE INVOLVED IN THE WORK.
2. VERIFY ALL DIMENSIONS IN THE FIELD BEFORE ORDERING ANY MATERIALS.
3. PROVIDE SOLID WOOD BLOCKING @ DOORS, CABINETS, SHELVING, BORROWED LITES AND BEHIND DOOR STOPS, ETC.
4. ALL EXPOSED MASONRY CORNERS SHALL HAVE BULL NOSED EDGES UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE NOMINAL TO FINISHED SURFACES UNLESS NOTED OTHERWISE.
6. THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE PREMISES AND EXISTING CONDITIONS TO COORDINATE NEW INSTALLATIONS.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN CLARIFICATION OF ANY DISCREPANCIES FOUND DURING SITE EXAMINATION AND/OR ON DRAWINGS PRIOR TO BID DATE.
8. REFER TO SHEET A102 FOR DOOR & WINDOW TYPES.
9. ALL INTERIOR WALL CONSTRUCTION TO BE TYPE 3, UNLESS NOTED OTHERWISE (I.N.O.)

**FLOOR PLAN KEY:**

- ① - WALL CONSTRUCTION TYPE

**NEW EXTERIOR WALL CONSTRUCTION:**

- ① - METAL SIDING ON GIRT FRAMED CONSTRUCTION WITH BLANKET BATT INSULATION AND METAL LINER PANEL (ABOVE 6' AFF) AND 8' REINF. SPLIT FACED CMU WALL (TO 6' AFF).
- ② - METAL SIDING OVER AIR BARRIER ON 1/2" HD SHEATHING ON 2x6 WD STUDS @ 16" O.C. W/ BATT INSUL. W/ 5/8" TYP. 'X' GYP. BD.

**NEW INTERIOR WALL CONSTRUCTION:**

- ③ - 5/8" TYPE 'X' GYP. BD. BOTH SIDES OVER 2x4 WD STUDS @ 16" O.C. W/ SOUND ATTENUATION INSULATION.
- ④ - 5/8" TYPE 'X' GYP. BD. BOTH SIDES OVER 2x6 WD STUDS @ 16" O.C. W/ SOUND ATTENUATION INSULATION.
- ⑤ - METAL LINER PANEL, BOTH SIDES, OVER 6" 18 GA METAL STUDS @ 16" O.C. W/ SOUND ATTENUATION INSULATION.
- ⑥ - 5/8" TYPE 'X' GYP. BD. OFFICE SIDE, ON 2x4 WD BEARING STUDS @ 16" O.C. W/ BATT INSUL. OVER GIRT FRAMED CONSTRUCTION W/ BATT INSUL. AND METAL LINER PANEL (ABOVE 6' AFF) AND OVER STANDARD CMU (TO 6' AFF).
- ⑦ - 5/8" TYPE 'X' GYP. BD. OFFICE SIDE, ON 2x4 WD BEARING STUDS @ 16" O.C. OVER GIRT FRAMED CONSTRUCTION W/ HD STUD INFILL @ 16" O.C. & BATT INSUL. AND 5/8" TYPE 'X' GYP. BD. (ABOVE 6' AFF TO CEILING FRAMING W/ METAL LINER PANEL ABOVE) AND OVER STANDARD CMU (TO 6' AFF).

**Building and Site Information**

CODE:  
2015 MICHIGAN BUILDING CODE  
2021 MICHIGAN PLUMBING CODE  
2021 MICHIGAN MECHANICAL CODE  
2017 NATIONAL ELECTRIC CODE & MICHIGAN CODE RULES - PART 8

OCCUPANCY CLASSIFICATION: MIXED OCCUPANCY  
New Building: S-1 STORAGE (moderate hazard)  
B BUSINESS

CONSTRUCTION TYPE:  
Building: S-B COMBUSTIBLE (not protected)  
(BUILDING NOT SPRINKLED)

NEW BUILDING AREA:  
(Gross) S-1 (Storage) = 10,400 s.f.  
B (Business) = 1,050 s.f.

TOTAL BUILDING AREA: 11,450 s.f.

BUILDING OCCUPANT LOAD: (all building components designed to)  
BUILDING AREA:  
Business (B): 1,050/100/sf gross = 10 people  
Storage (S-1): 10,400/100/sf net = 104 people  
Total Occupant Load = 114 people

ALLOWABLE FLOOR AREA:	CODE	PROJECT	RATIO
(w/ frontage increase)			
Building Gross:			
Storage (S-1):	17,500 s.f.	10,400 s.f.	.60
Business (B):	25,500 s.f.	1,050 s.f.	.05
<b>TOTAL:</b>		<b>11,450 s.f.</b>	<b>.65 &lt; 1</b>

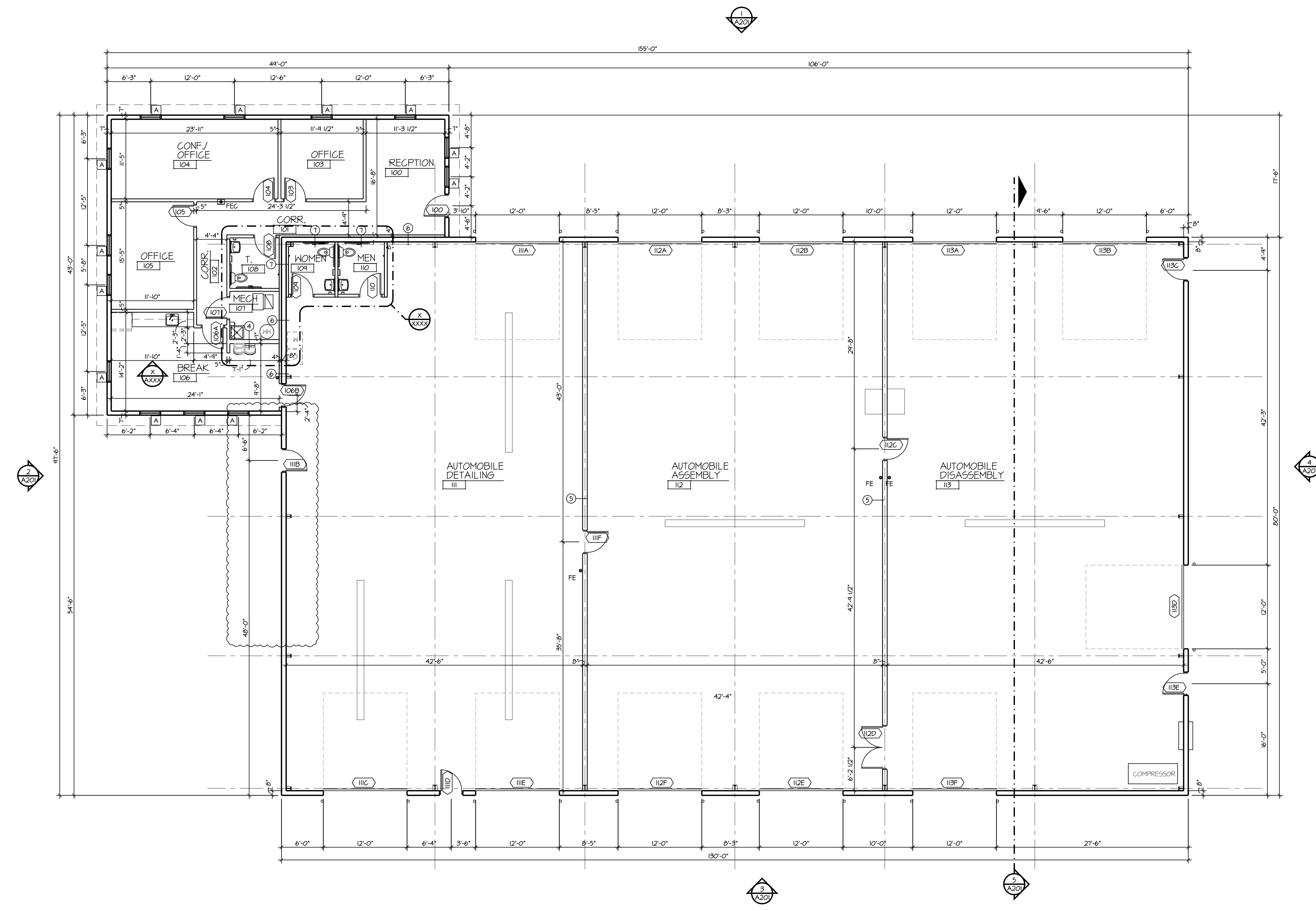
HEIGHT + NUMBER OF STORIES	Building By Code:	HEIGHT	STORIES
Storage (S-1):	2 st.	55'-0" high	1 st.
Business (B):	3 st.	55'-0" high	1 st.
			15'-4" high

(Non-Separated Occupancies) - None required per 508.4

ISSUED
SITE PLAN REVIEW - 02/06/24
SPR REVISION #1 - 03/05/24
SPR REVISION #2 - 04/02/24

FE	FEC	FIRE EXTINGUISHER / FIRE EXTINGUISHER CABINET
●	■	

EXIT  
➡



**FLOOR PLAN**  
Scale: 1/8" = 1'-0"  
N

NEW FACILITY FOR:  
**DUNSHIE BODY AND FRAME, INC.**  
Kalamazoo, MI 49009  
6585 W KL AVE.

SHEET TITLE  
**FLOOR PLAN**

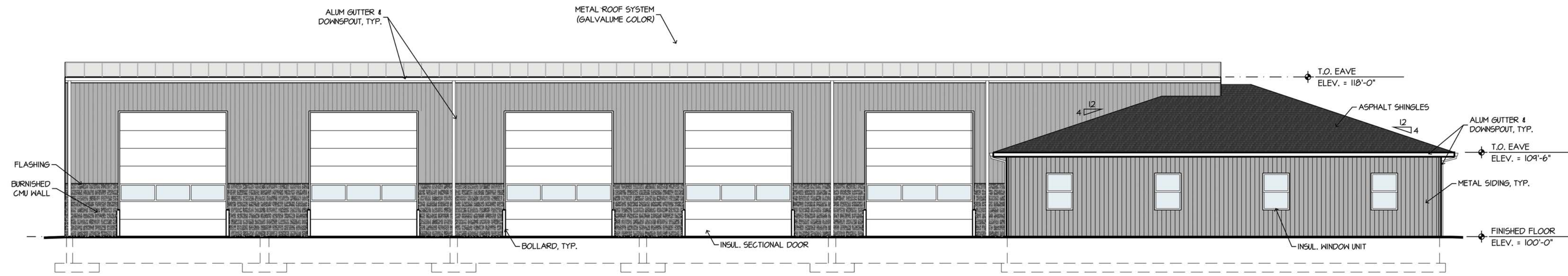
FILE NAME  
2320 A10LDWG

ISSUED

03/26/24  
**PRELIMINARY**

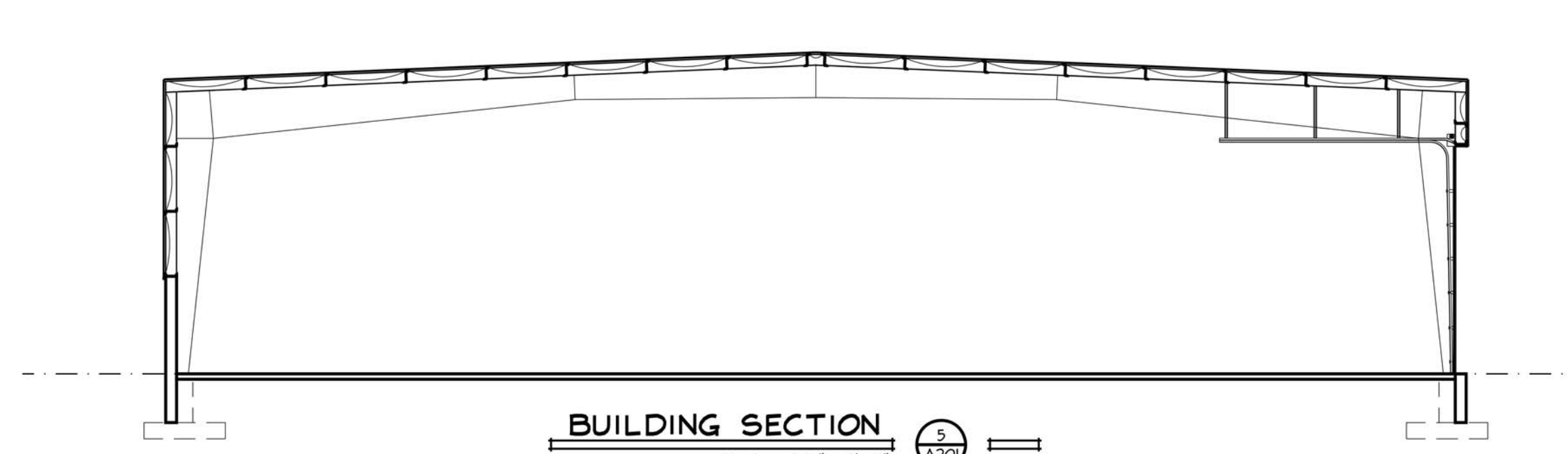
JOB NUMBER  
2320

**A101**



**NORTH ELEVATION**  
Scale: 1/8" = 1'-0"  
1 A201

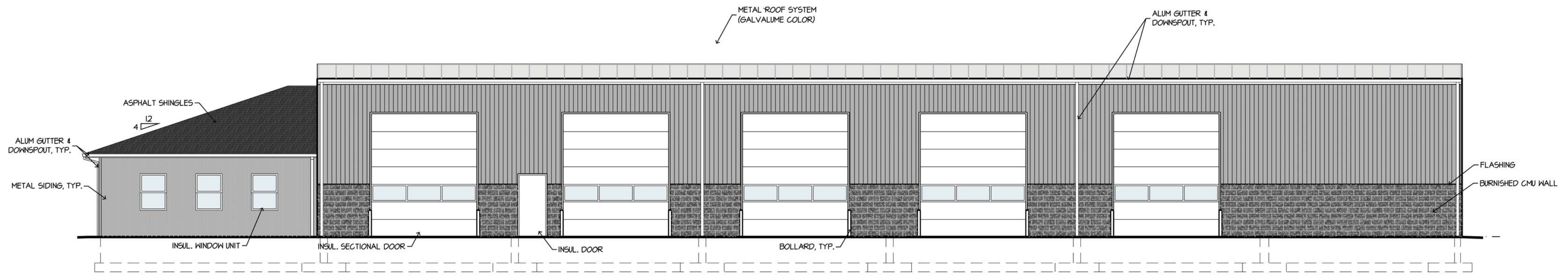
**BUILDING HEIGHTS:**  
MTL. BLDG. HEIGHT: 18'-10"  
OFFICE BLDG. HEIGHT: 13'-4"  
**EXTERIOR BUILDING COLORS:**  
ROOF - SHINGLE, BLACK  
ROOF - METAL, GALVALUME  
SIDING, ASHLEY GRAY  
SPLIT FACE CMU, ASH  
WINDOWS, WHITE  
DOORS, WHITE



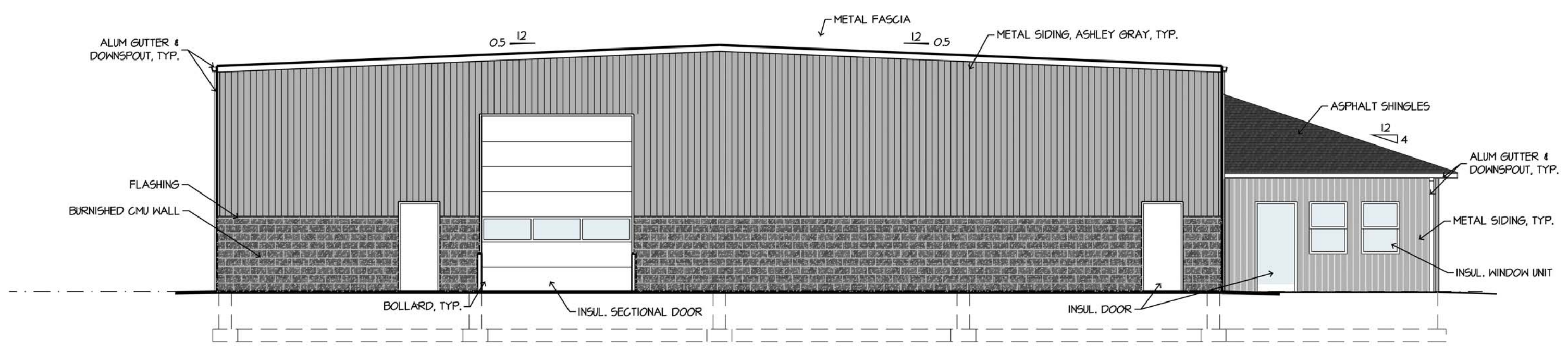
**BUILDING SECTION**  
Scale: 1/8" = 1'-0"  
3 A201



**WEST ELEVATION**  
Scale: 1/8" = 1'-0"  
2 A201



**SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"  
3 A201



**EAST ELEVATION**  
Scale: 1/8" = 1'-0"  
4 A201

NEW FACILITY FOR:  
**DUNSHEE BODY AND FRAME, INC.**  
6585 W. KL. AVE.  
KALAMAZOO, MI 49009

SHEET TITLE  
**EXTERIOR ELEVATIONS**

FILE NAME  
2320\_A201DWG

ISSUED  
SITE PLAN REVIEW - 02/06/24  
SPR REVISION #1 - 03/05/24  
SPR REVISION #2 - 04/02/24

03/06/24  
**PRELIMINARY**

JOB NUMBER  
2320

**A201**

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May 14, 2024

**Mtg Date:** May 21, 2024

**To:** Oshtemo Township Zoning Board of Appeals

**From:** Colten Hutson, Zoning Administrator

**Applicant:** Kevin Denoyer, CommonSail Development

**Owner:** EPC Trevi LLC

**Property:** 1700 Bronson Way, Parcel Number 05-12-455-017

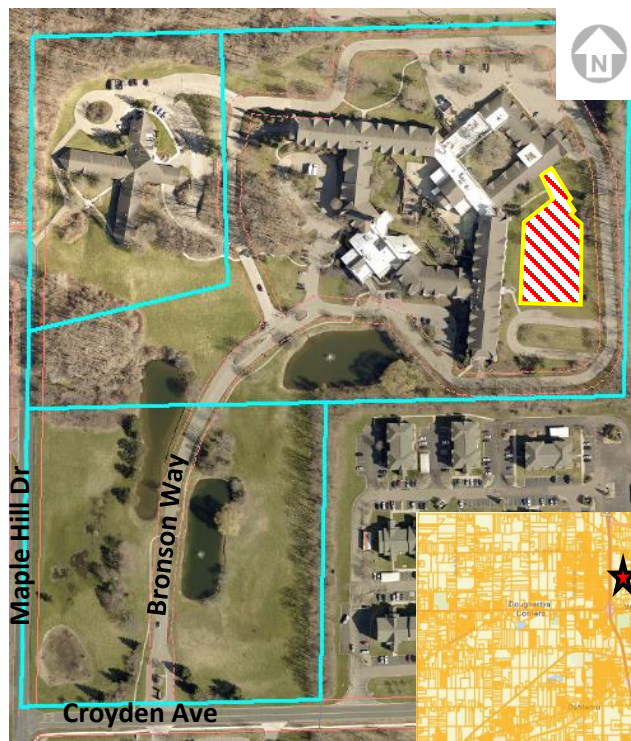
**Zoning:** R-4: Residence District

**Request:** Site plan approval to construct a 21,075 SF building addition

**Section(s):** Section 64: Site Plan Review  
Section 9: R-4: Residence District

**PROJECT SUMMARY:**

CommonSail Development, on behalf of the owner, EPC Trevi LLC, is requesting site plan approval to construct a 21,075 SF building addition onto the existing building located at 1700 Bronson Way. Currently serving as an assisted living facility, the applicant is seeking to expand their operations to provide space for a new 28-bed memory care unit within the proposed building addition. The project site falls within the R-4: Residence District zoning designation. The property under consideration is outlined in light blue on the map to the right with the subject building addition illustrated through the red and white hatch marks.



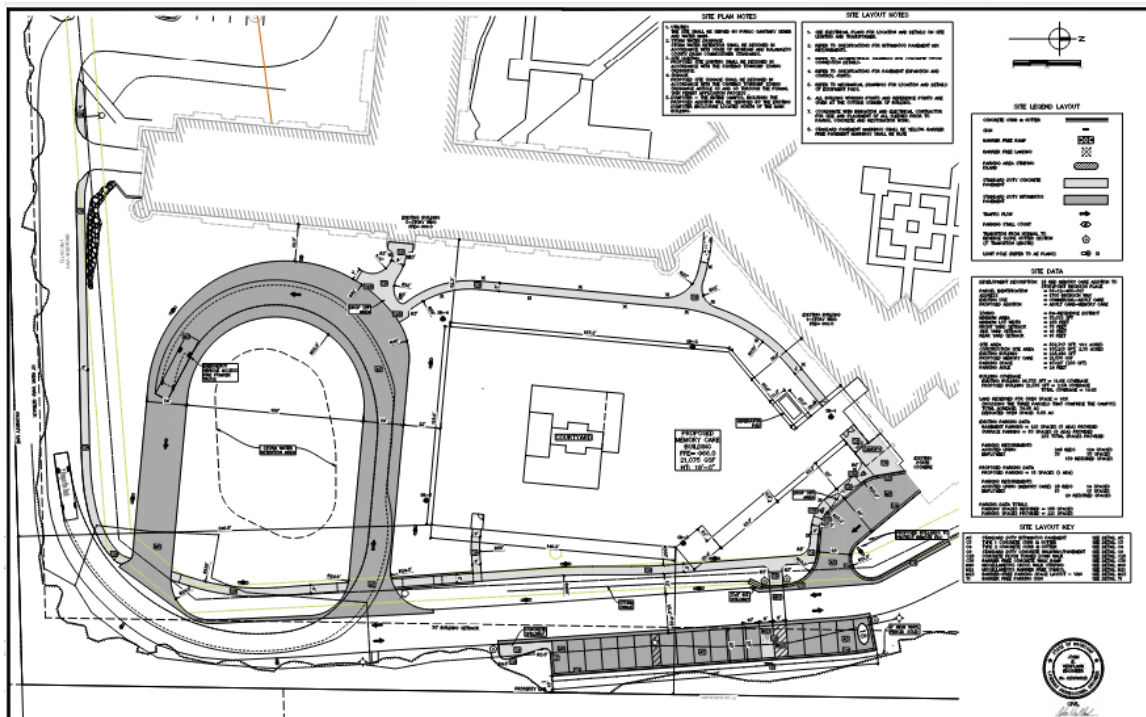
**ANALYSIS:**

When reviewing this site plan review request, there is one set of criteria that needs to be considered: the general site plan review criteria outlined in Section 64. Section 64 includes requirements on access, parking, non-motorized facilities, grading, utilities, drainage, along with other general requirements. An analysis of the proposed building addition project against said code section has been provided below. Overall, most of the requirements of Section 64 have been met.

**Section 64: Site Plan Review**

**General Zoning Compliance:**

**Zoning:** 1700 Bronson Way is zoned R-4: Residence District and is located within the northeast quadrant of the Township. The subject property abuts farmland to its east, single-family homes and a cell tower to its north, a hospice care facility to its south, and unimproved commercial property and a multi-family development to the west. Land that abuts to the north and east of the project area are zoned R-2: Residence District while property adjacent to the south is zoned R-4: Residence District. Property to the west is zoned R-4: Residence District and C: Local Business District. The existing assisted living use is a permitted use by right within the R-4: Residence District. The proposed memory care use is also permitted by right within the R-4: Residence District. With the proposed building addition, the percentage of land covered by buildings will increase to 14.1%. 16% of the 35-acre site is designated for open space.



**Access and Circulation**

**Access:** The site under consideration already possesses a full access point adjacent to Croyden Avenue. The property also has two emergency access drives, one along Beech Avenue to the north and one along the west end of the site where Maple Hill Drive currently terminates. The site is designed to accommodate two-way travel. All circulation aisles proposed meet the minimum width requirements outlined in the Township’s Zoning Ordinance. The Fire Marshal has reviewed the site plan and found it adequate to service emergency vehicle circulation.

**Parking:** The site currently has 203 parking spaces in total, 120 of which are underground. All existing and proposed parking stalls are 10 Ft wide by 20 Ft deep. Nursing home uses are allowed one parking space for every two beds and one parking space per employee. The existing assisted living facility possesses 248 beds and 35 employees. The proposed memory care facility includes 28 beds and 15 employees. After calculating the parking needed for the use proposed to occupy

the site, a total of 188 parking spaces would be required for this site. Sufficient parking has been provided and all parking requirements are satisfied.

**Easements:** There is a 20 Ft wide water easement proposed to run along the south side of the building addition. Said water easement will consist of 8” water main and will need to be dedicated to Oshtemo Township. Extension of such utilities will require coordination with the Public Services Department at the City of Kalamazoo. Other than the water easement, there are no other changes to easements on-site.

**Non-motorized:** The Township’s Non-motorized Transportation Plan does identify a non-motorized facility adjacent to the subject site on the north side of Croyden Avenue and the east side of Maple Hill Drive. A 5’ wide concrete sidewalk in said locations is currently proposed on the site plan. If any portion of the sidewalk results in being located outside of the public right-of-way in order to avoid safety concerns and utility conflicts, a sidewalk easement will be required to be recorded at the Kalamazoo County Register of Deeds Office.

### Building Design

**Building Information:** The existing building located at 1700 Bronson Way was originally constructed in 1988 and is approximately 30 Ft tall. The proposed 21,075 SF building addition will be located on the east end of the existing building. The exterior material proposed for the addition is vinyl siding and brick masonry. The exterior of the addition will be harmonious with the existing façade and architectural features of the existing portion of the building. See images of the building’s elevations to the right.



**Lot Dimensions:** The site under consideration is comprised of three parcels and is about 35 Acres and has approximately 1,680 Ft of road frontage adjacent to public roadway. Each parcel exceeds both the property area (50,000 SF minimum) and frontage (200 Ft minimum) requirements of the R-4: Residence District. The site’s dimensions satisfy zoning ordinance requirements.

**Setbacks:** The building addition is proposed to be setback 246 Ft from the south property line, 87 Ft from the east property line, approximately 325 Ft from the north property line along Beech Avenue, and 1,125 Ft from the west property line along Maple Hill Drive. The minimum setbacks

outlined in the Township’s Zoning Ordinance for the front, side, and rear yards have all been satisfied.

*Fencing:* A 6 Ft tall vinyl fence is proposed along the eastern property boundary and will extend the length of the 18 parking spaces proposed along the east side of Bronson Way. The fence will provide for additional screening between the memory care facility and the residentially zoned property to the immediate east. This will serve as a buffer between land uses in addition to the existing tree line along said property line. All requirements met.

*Lighting:* A photometric plan has been provided. Several new pole mounted lights and building mounted lights are proposed. All lighting ordinance requirements have been met.

*Signs:* No changes to the current on-site signage is proposed. This portion of the review is not applicable.

### **Landscaping**

The landscaping plan that was submitted by the applicant proposes to preserve a number of existing trees in addition to planting several different tree species on-site. A significant amount of landscaping interior to the site such as along the expanded parking area and around the building addition has been provided. All landscaping requirements within the Zoning Ordinance have been met.

### **Engineering**

Wightman and the Oshtemo Public Works Department have reviewed the project site plan and overall are happy with the proposal.

### **Fire Department**

The Fire Marshal has reviewed the site plan and finds it satisfactory.

### **RECOMMENDATION:**

Planning Department staff recommend the approval of the proposed Site Plan for a 21,075 SF building addition onto the existing building located at 1700 Bronson Way with the following conditions.

- 1) A Soil Erosion and Sedimentation Control (SESC) permit from the Kalamazoo County Drain Commissioner’s Office will be required prior to building permit issuance.
- 2) An 8” watermain connection is proposed on the south side of the building. All watermain connections shall be coordinated with the City of Kalamazoo Department of Public Services. Acceptance of watermain construction and testing must be provided prior to issuing a certificate of occupancy.
- 3) A non-motorized project permit for new sidewalk facilities within the public right-of-way shall be obtained from the Road Commission of Kalamazoo County prior to building permit issuance.
- 4) Benefit Unit fees for the sewer connection shall be collected by the Township prior to issuing a certificate of occupancy.
- 5) Copies of the necessary recorded easements shall be provided to the Township prior to issuing a certificate of occupancy.



- 6) As a Non-Motorized Plan is presently being prepared as part of the Comprehensive Plan process, the extent of sidewalk installation along the subject site's road frontage as a part of the building addition project will be determined prior to occupancy.

Attachments: Application and Plan Set

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7275 W. Main Street, Kalamazoo, Michigan 49009-9334  
Phone: 269-375-4260 Fax: 269-375-7180

**PLEASE PRINT**

**PROJECT NAME & ADDRESS**

StoryPoint Kalamazoo at Bronson Place Memory Care Addition - 1700 Bronson Way

**PLANNING & ZONING APPLICATION**

Applicant Name: Kevin Denoyer

Company: CommonSail Development

Address: 7927 Nemco Way Suite 120 Brighton MI 48116

E-mail: Kdenoyer@csig.com

Telephone: 630-510-1401 Fax: NA

Interest in Property: Developer

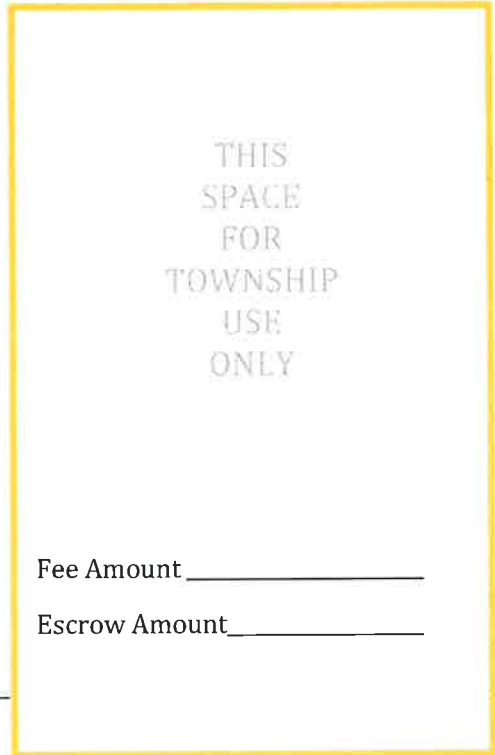
**OWNER\*:**

Name: EPC Trevi LLC

Address: 4500 Dorr St  
Toledo, OH 43615

E-mail: fpan@welltower.com

Phone & Fax: 646-756-0167



**NATURE OF THE REQUEST: (Please check the appropriate item(s))**

- |   |   |
|---|---|
| <input type="checkbox"/> Pre-Application Review                 | <input type="checkbox"/> Accessory Building Review – I083 |
| <input type="checkbox"/> <u>Yes</u> Site Plan Review – I088     | <input type="checkbox"/> Rezoning – I091                  |
| <input type="checkbox"/> Administrative Site Plan Review – I086 | <input type="checkbox"/> Subdivision Plat Review – I089   |
| <input type="checkbox"/> Special Exception Use – I085           | <input type="checkbox"/> Interpretation – I082            |
| <input type="checkbox"/> Zoning Variance – I092                 | <input type="checkbox"/> Other: _____                     |
| <input type="checkbox"/> Site Condominium – I084                |   |

**BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary):** \_\_\_\_\_

Requesting site plan review and approval for standard site plan amendment for proposed 28 bed memory care building addition.  
\_\_\_\_\_  
\_\_\_\_\_

**LEGAL DESCRIPTION OF PROPERTY** (Use Attachments if Necessary):

Included in Attached Civil Plans - See Cover Sheet -Sheet No. C000 for Legal Description

**PARCEL NUMBER:** 3905- 05-12-455-017

**ADDRESS OF PROPERTY:** 1700 Bronson Way, Kalamazoo, MI 49009

**PRESENT USE OF THE PROPERTY:** Assisted Living (Assisted, Enhanced, Independent Living Options)

**PRESENT ZONING:** R4-Residence District **SIZE OF PROPERTY:** 19 acres

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

**Name(s)**

**Address(es)**

\_\_\_\_\_  
\_\_\_\_\_

**SIGNATURES**

*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.*

EPC Trevi LLC

DocuSigned by:

Russell Simon

~~RUSSELL SIMON~~

Authorized Signatory

**Owner's Signature** (\*If different from Applicant)

**Date**

3/28/2024

Hei Denoyen

**Applicant's Signature**

**Date**

3/28/2024

- Copies to:
- Planning - 1
- Applicant - 1
- Clerk - 1
- Deputy Clerk - 1
- Attorney - 1
- Assessor - 1
- Planning Secretary - Original

\*\*\*\*

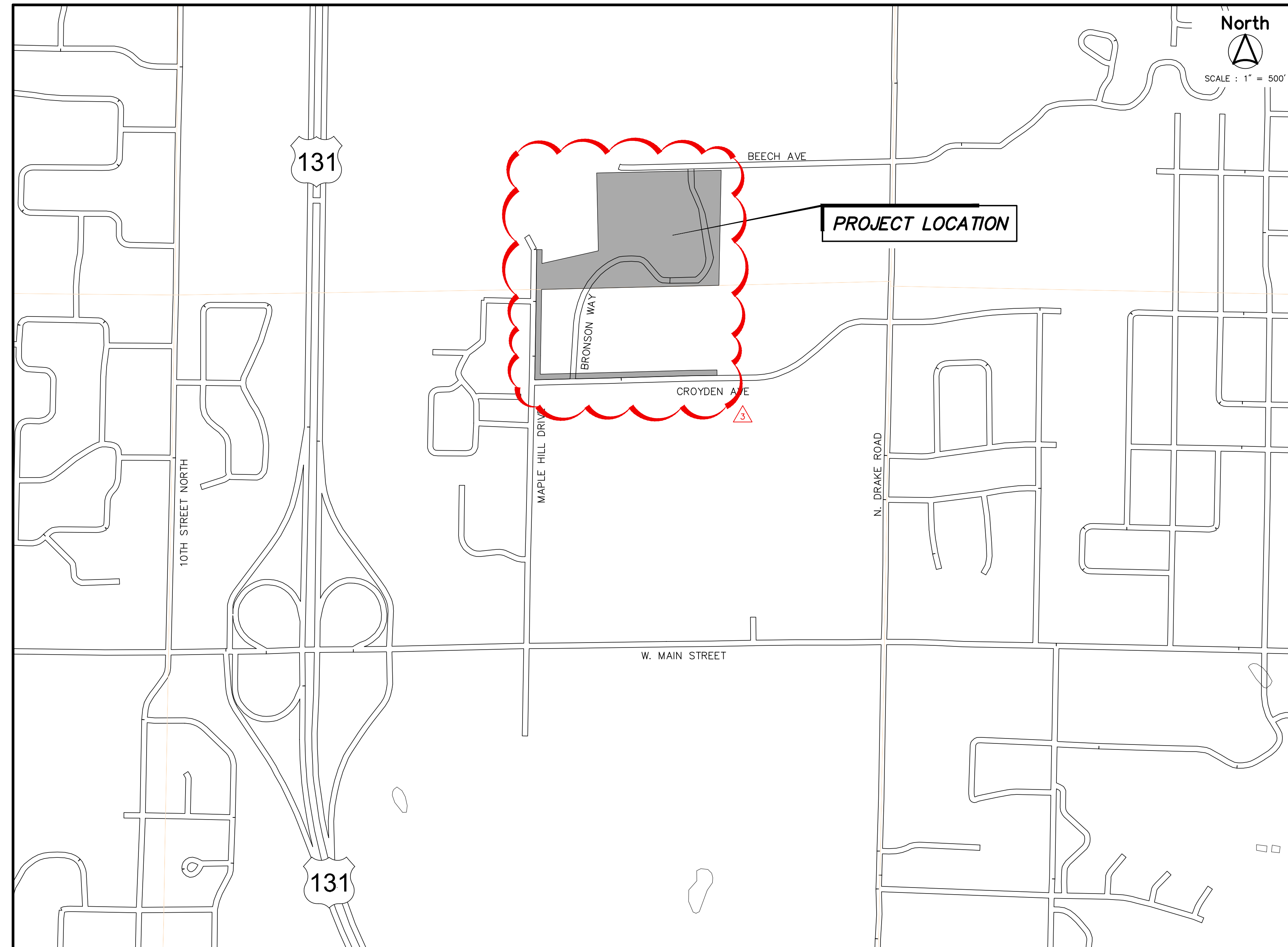
**PLEASE ATTACH ALL REQUIRED DOCUMENTS**

# COMMONSAIL DEVELOPMENT

## KALAMAZOO COUNTY, MICHIGAN

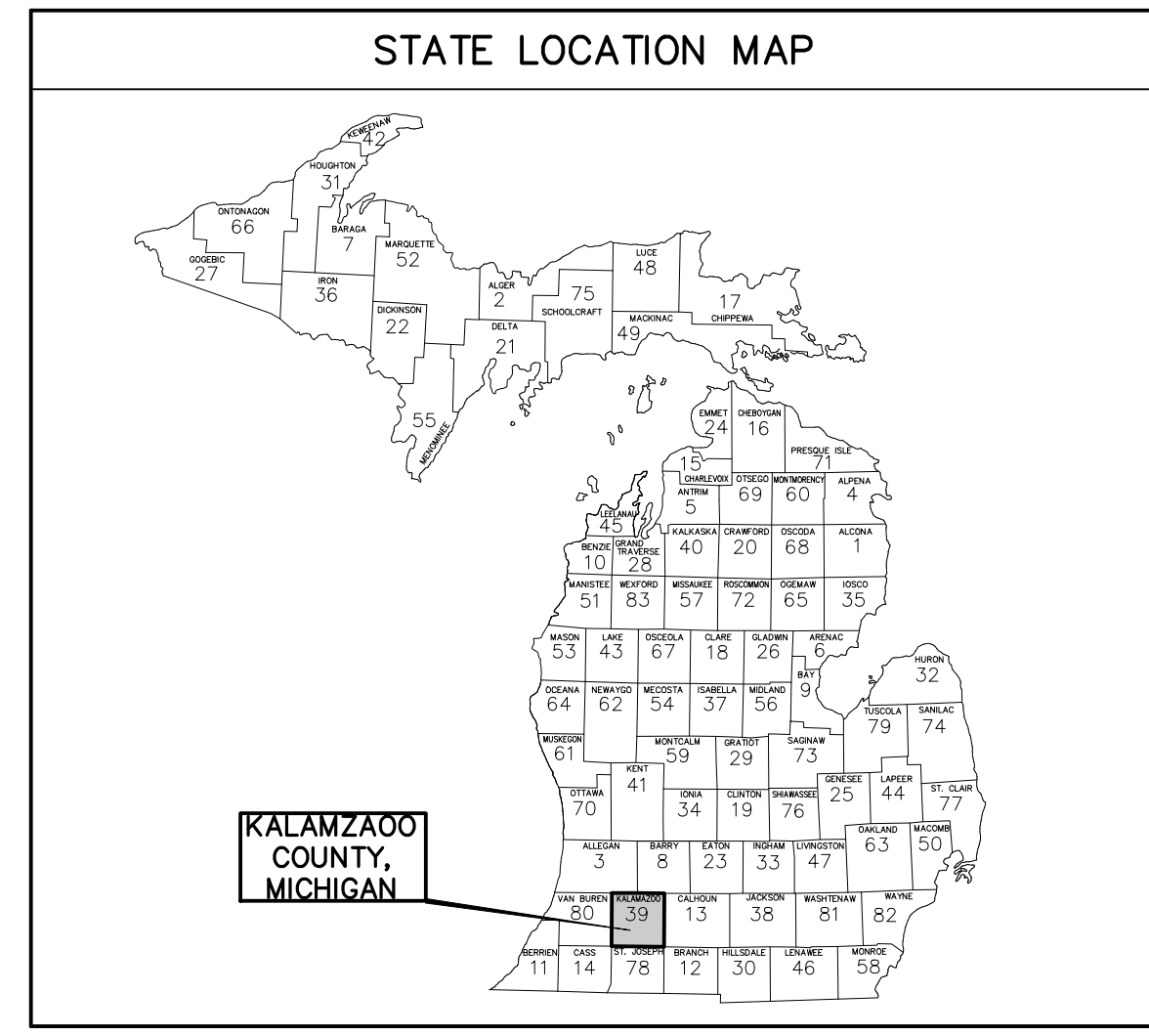
# STORYPOINT KALAMAZOO AT BRONSON PLACE

## MEMORY CARE ADDITION



LAND OWNER = COMMON SAIL DEVELOPMENT  
 NICK KOLB  
 7927 NEMCO WAY, SUITE 120  
 BRIGHTON, MI 48116  
 (248) 514-9587

DESIGNER = PREIN & NEWHOF  
 JON VERPLANK, PE  
 3355 EVERGREEN DRIVE, NE  
 GRAND RAPIDS, MI 49525  
 (616) 364-8491



Legal Description per Transnation Title Agency File No. 427147GRS

Parcel 1: (017)  
 Beginning at the South 1/4 post of Section 12, Town 2 South, Range 12 West, Oshkemo Township, Kalamazoo County, Michigan, and running thence North 00 degrees 03 minutes 39 seconds West along the North and South 1/4 line of said Section, 832.44 feet; thence North 87 degrees 33 minutes 25 seconds East 1313.95 feet (recorded as North 87 degrees 34 minutes 17 seconds East 1314.12 feet) to the East line of the West 1/2 of said Section; thence South 00 degrees 03 minutes 17 seconds East along said East line 831.10 feet (recorded as South 00 degrees 02 minutes 32 seconds East 830.78 feet) to the South line of said Section; thence South 87 degrees 29 minutes 54 seconds West along said South line, 1313.92 feet to beginning.

Excepting therefrom: a Parcel situated in the Southeast 1/4 of Section 12, Town 2 South, Range 12 West, Oshkemo Township, Kalamazoo County, Michigan, described as: Commencing at the South 1/4 post of Section 12, Town 2 South, Range 12 West and running thence North 00 degrees 03 minutes 39 seconds West along the North and South 1/4 line of said Section, 180.44 feet for the point of beginning of this description; thence continuing North 00 degrees 03 minutes 39 seconds West 652.00 feet; thence North 87 degrees 33 minutes 25 seconds East (recorded as North 87 degrees 34 minutes 17 seconds East) 415.00 feet; thence South 02 degrees 25 minutes 43 seconds East 561.62 feet; thence South 76 degrees 04 minutes 57 seconds West 450.97 feet to the beginning.

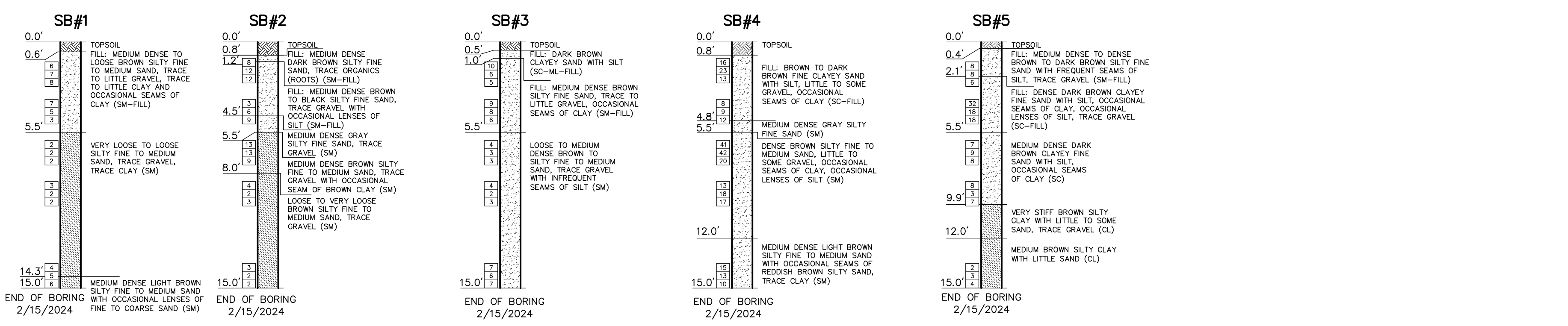
SHEET INDEX	
SHEET No.	DESCRIPTION
C000	COVER SHEET
C100	EXISTING CONDITIONS & REMOVALS
C101	EXISTING CONDITIONS & REMOVALS
C102	EXISTING GROUND FLOOR PLAN
C200	OVERALL SITE PLAN
C201	SITE PLAN
C202	SITE PLAN—CROYDEN DRIVE
C203	SITE PLAN—MAPLE HILL DRIVE
C300	GRADING PLAN
C301	GRADING PLAN—CROYDEN DRIVE
C302	GRADING PLAN—MAPLE HILL DRIVE
C400	UTILITY PLAN
C401	STORMWATER PROFILES
C402	STORMWATER CALCULATIONS
C500	SITE DETAILS
C501	SITE DETAILS
L100	LANDSCAPE PLANTING PLAN
A.101	FLOOR PLAN — MEMORY CARE
A.102	ELEVATIONS — MEMORY CARE
1 of 2	LIGHTING — PHOTOMETRIC SITE PLAN
2 of 2	LIGHTING — DATA SHEETS

DATE: APRIL 26, 2024

**Prein & Newhof**  
 Engineers • Surveyors • Environmental • Laboratory

PROJECT NO. 2230819  
 SHEET NO. C000

SOIL BORING GENERAL NOTES			
<p>WITHIN EACH SOIL BORING, WHERE SHOWN, SOIL SAMPLES WERE OBTAINED BY THE STANDARD PENETRATION TEST METHOD, ASTM D1586, WHEREBY A SPLIT-SPOON SAMPLER IS DRIVEN THREE SUCCESSIVE 6-INCH INCORPMENTS WITH A 140 POUND WEIGHT FALLING 30 INCHES. THE NUMBER OF BLOWS REQUIRED TO DRIVE THE SAMPLER FOR EACH INCORPMENT IS PRESENTED ON THE SOIL BORING LOGS.</p> <p>GRANULAR SOILS (COARSE-SGRAINED) HAVE MORE THAN SIZE OF THEIR DRY WEIGHT RETAINED ON A #200 SIEVE. THEY ARE DESCRIBED AS: BOLLERS, COBBLES, GRAVEL OR SAND. FINE-GRAINED SOILS HAVE LESS THAN SIZE OF THEIR DRY WEIGHT RETAINED ON A #200 SIEVE. THEY ARE DESCRIBED AS: CLAYS OR CLAYEY SILTS IF THEY ARE COHESIVE, AND SILTS IF THEY ARE NON-COHESIVE. IN ADDITION TO GRADATION, GRANULAR SOILS ARE SORTED BASED ON THEIR (N-S) DENSITY; FINE GRAINED SOILS ARE FURTHER DEFINED BASED ON THEIR STRENGTH OR CONSISTENCY, AND ON THEIR PLASTICITY.</p>			
MAJOR SOIL COMPONENT	GRADATION RANGE	DESCRIPTION TERM(S) (OF MAJOR SOIL CONSTITUENTS)	PERCENT OF DRY WEIGHT
BOLLERS	OVER 12 INCHES (305mm)		
COBBLES	12 INCHES TO 3 INCHES (305mm TO 76mm)	TRACE	1 - 10
GRAVEL	COARSE 3 INCHES TO 3/4 INCHES (76mm TO 19mm)	LITTLE	10 - 20
	FINE 3/4 INCHES TO #4 SIEVE (19mm TO 4.75mm)	SOME	20 - 35
SAND	COARSE #4 SIEVE TO #10 SIEVE (4.75mm TO 2.00mm)	AND	35 - 50
	MEDIUM #10 SIEVE TO #20 SIEVE (2.00mm TO 0.85mm)		
	FINE #20 SIEVE TO #40 SIEVE (0.85mm TO 0.425mm)		
SILT	PASSING #200 SIEVE (0.075mm) TO 0.0075mm	CONSISTENCY OF COHESIVE SOILS:	
CLAY	SMALLER THAN 0.0075mm	UNCOMPACTED COMP. STRENGTH, $q_u$ (TSF)	CONSISTENCY
			VERY SOFT
			SOFT
			MEDIUM (FIRM)
			STIFF
			VERY STIFF
			HARD
			VERY HARD
<p>WATER LEVELS INDICATED ON THE BORING LOGS ARE THE LEVELS MEASURED IN THE BORING AT THE TIMES INDICATED. IT SHOULD BE NOTED THAT GROUNDWATER LEVELS OBSERVED DURING DRILLING IN PREDOMINANTLY COHESIVE SOILS ARE NOT NECESSARILY INDICATIVE OF THE STABLE GROUNDWATER LEVEL. THIS IS DUE TO THE RELATIVELY LOW PERMEABILITY OF CLAY SOILS AND THE TENDENCY OF DRILLING OPERATIONS TO TEMPORARILY SEAL OFF NATURAL PATHS OF GROUNDWATER INFILTRATION INTO THE BORING. ADDITIONALLY, FLUCTUATIONS IN GROUNDWATER LEVELS SHOULD BE ANTICIPATED WITH SEASONAL VARIATIONS AND FOLLOWING PERIODS OF HEAVY OR PROLONGED PRECIPITATION.</p> <p>THE SOIL BORING LOGS SHOWN ON THE CONSTRUCTION PLANS ARE BEING FURNISHED FOR YOUR CONVENIENCE AND GENERAL INFORMATION ONLY. THE DATA SHOWN ON THE BORING LOGS REPRESENTS SOIL AND GROUNDWATER CONDITIONS ENCOUNTERED AT THE RESPECTIVE BORING LOCATIONS. VARIATIONS MAY OCCUR BETWEEN THESE LOCATIONS. ADDITIONALLY, THE STRATIGRAPHIC LINES REPRESENT THE APPROXIMATE BOUNDARIES BETWEEN SOIL TYPES; HOWEVER, THE TRANSITION MAY BE MORE GRADUAL THAN WHAT IS SHOWN. THE BUILDER WILL BE RESPONSIBLE FOR MAKING THEMSELVES FAMILIAR WITH SURFACE CONDITIONS BY WATERING HEADS, TEST COILS NECESSARY AND SHALL MAKE THEIR OWN DETERMINATIONS THEREFROM.</p> <p>THE BIDDERS BY SUBMITTING A BID, WAIVES ALL CLAIMS FOR DAMAGES WHICH THEY MAY SUFFER BY REASONS OF THE INADEQUACIES OR DISCREPANCIES OF THE INFORMATION SHOWN ON THESE SOIL BORING LOGS AND UNDERSTANDS THAT NO COMPENSATION WILL BE PAID TO THEM DUE TO AN INADEQUACY OR DISCREPANCY IN THIS DATA.</p>			

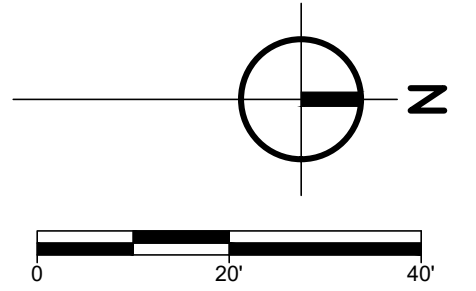


**SITE PLAN NOTES**

1. UTILITIES  
THE SITE SHALL BE SERVED BY PUBLIC SANITARY SEWER AND WATER MAIN.
2. STORM WATER DRAINAGE  
STORM WATER RETENTION SHALL BE DESIGNED IN ACCORDANCE WITH STATE OF MICHIGAN AND KALAMAZOO COUNTY DRAIN COMMISSIONER STANDARDS.
3. SITE LIGHTING  
PROPOSED SITE LIGHTING SHALL BE DESIGNED IN ACCORDANCE WITH THE OSHTEMO TOWNSHIP ZONING ORDINANCE.
4. SIGNAGE  
PROPOSED SITE SIGNAGE SHALL BE DESIGNED IN ACCORDANCE WITH THE OSHTEMO TOWNSHIP ZONING ORDINANCE ARTICLE 55 AND GO THROUGH THE FORMAL SIGN PERMIT APPLICATION PROCESS.
5. DUMPSTER - THE ENTIRE CAMPUS, INCLUDING THE PROPOSED ADDITION WILL BE SERVICED BY THE EXISTING DUMPSTER ENCLOSURE LOCATED NORTH OF THE MAIN BUILDING.

**SITE LAYOUT NOTES**

1. SEE ELECTRICAL PLANS FOR LOCATION AND DETAILS ON SITE LIGHTING AND TRANSFORMER.
2. REFER TO SPECIFICATIONS FOR BITUMINOUS PAVEMENT MIX REQUIREMENTS.
3. REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE STOOB CONNECTION DETAILS.
4. REFER TO SPECIFICATIONS FOR PAVEMENT EXPANSION AND CONTROL JOINTS.
5. REFER TO MECHANICAL DRAWINGS FOR LOCATION AND DETAILS OF EQUIPMENT PADS.
6. ALL BUILDING WORKING POINTS AND REFERENCE POINTS ARE GIVEN AT THE OUTSIDE CORNER OF BUILDING.
7. COORDINATE WITH IRRIGATION AND ELECTRICAL CONTRACTOR FOR SIZE AND PLACEMENT OF ALL SLEEVES PRIOR TO PAVING, CONCRETE AND RESTORATION WORK.
8. STANDARD PAVEMENT MARKINGS SHALL BE YELLOW. BARRIER FREE PAVEMENT MARKINGS SHALL BE BLUE.



**SITE LEGEND LAYOUT**

CONCRETE CURB & GUTTER	
SIGN	
BARRIER FREE RAMP	
BARRIER FREE LANDING	
PARKING AREA STRIPING ISLAND	
STANDARD DUTY CONCRETE PAVEMENT	
STANDARD DUTY BITUMINOUS PAVEMENT	
TRAFFIC FLOW	
PARKING STALL COUNT	
TRANSITION FROM NORMAL TO REVERSE SLOPE GUTTER SECTION (5' TRANSITION LENGTH)	
LIGHT POLE (REFER TO AE PLANS)	

**SITE DATA**

**DEVELOPMENT DESCRIPTION:** 28 BED MEMORY CARE ADDITION TO STORYPOINT BRONSON PLACE

**PARCEL IDENTIFICATION** = 09-12-455-017  
**ADDRESS** = 1700 BRONSON WAY  
**EXISTING USE** = COMMERCIAL-ADULT CARE  
**PROPOSED ADDITION** = ADULT CARE-MEMORY CARE

**ZONING** = R4-RESIDENCE DISTRICT  
**MINIMUM AREA** = 50,000 SFT  
**MINIMUM LOT WIDTH** = 200 FEET  
**FRONT YARD SETBACK** = 70 FEET  
**SIDE YARD SETBACK** = 40 FEET  
**REAR YARD SETBACK** = 15 FEET

**SITE AREA** = 832,717 SFT; 19.1 ACRES  
**CONSTRUCTION SITE AREA** = 100,215 SFT; 2.30 ACRES  
**EXISTING BUILDING** = 228,486 SFT  
**PROPOSED MEMORY CARE** = 21,075 GSF  
**PARKING SPACE** = 10'x20' (200 SFT)  
**PARKING AISLE** = 24 FEET

**BUILDING COVERAGE**  
**EXISTING BUILDING** 96,733 SFT = 11.6% COVERAGE  
**PROPOSED BUILDING** 21,075 SFT = 2.5% COVERAGE  
**TOTAL COVERAGE** = 14.1%

**LAND RESERVED FOR OPEN SPACE = 16%**  
 (INCLUDING THE THREE PARCELS THAT COMPRISE THE CAMPUS)  
**TOTAL ACREAGE:** 34.98 AC  
**DEDICATED OPEN SPACE:** 5.55 AC

**EXISTING PARKING DATA**  
**BASEMENT PARKING** = 120 SPACES (5 ADA) PROVIDED  
**SURFACE PARKING** = 83 SPACES (6 ADA) PROVIDED  
**203 TOTAL SPACES PROVIDED**

**PARKING REQUIREMENTS**  
**ASSISTED LIVING** 248 BEDS 124 SPACES  
**EMPLOYEES** 35 35 SPACES  
**159 REQUIRED SPACES**

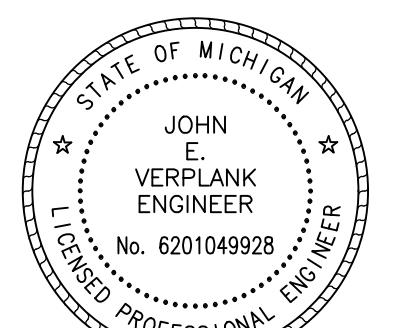
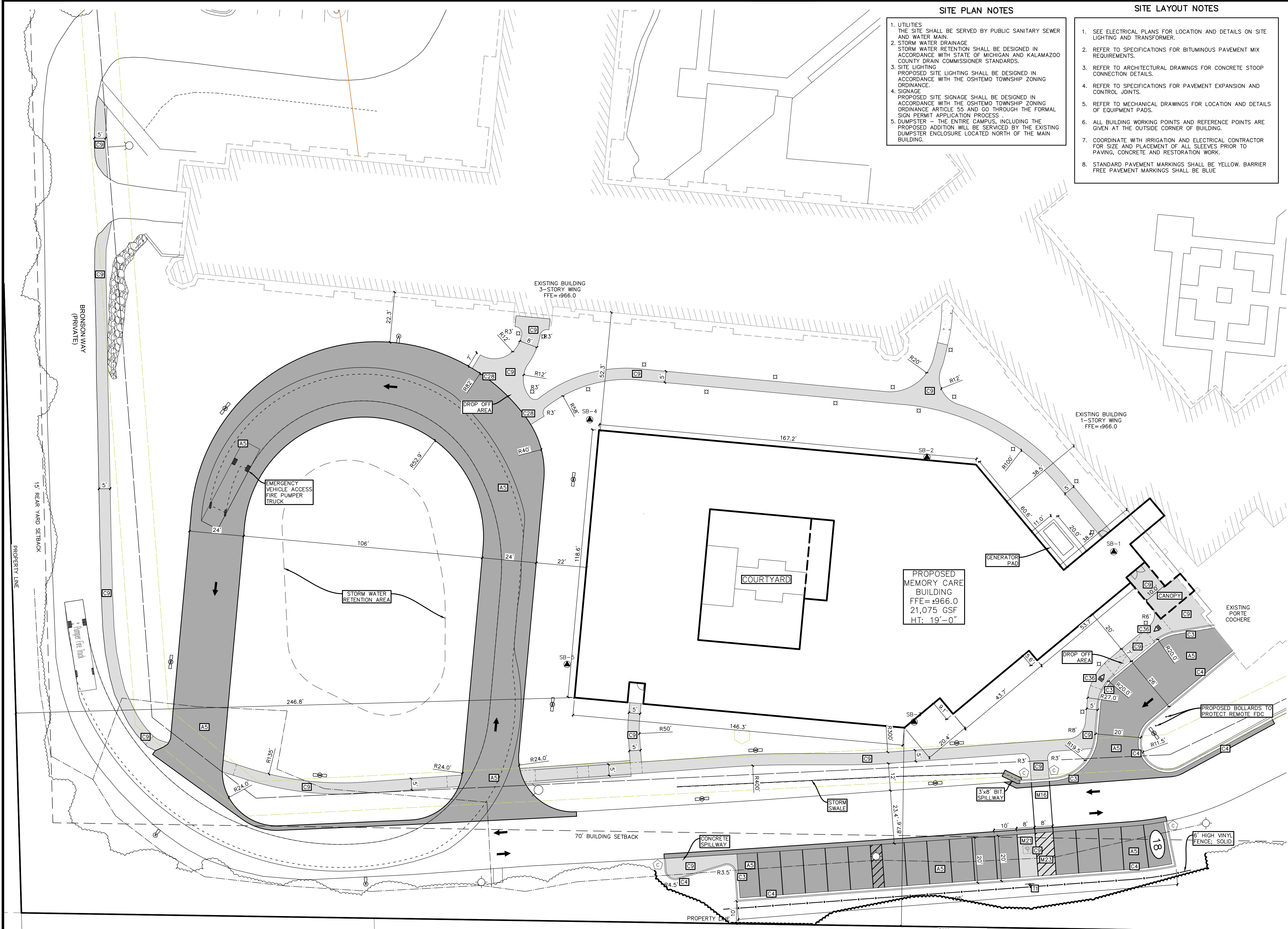
**PROPOSED PARKING DATA**  
**PROPOSED PARKING** = 18 SPACES (1 ADA)

**PARKING REQUIREMENTS**  
**ASSISTED LIVING (MEMORY CARE)** 28 BEDS 14 SPACES  
**EMPLOYEES** 15 15 SPACES  
**29 REQUIRED SPACES**

**PARKING DATA TOTALS**  
**PARKING SPACES REQUIRED** = 188 SPACES  
**PARKING SPACES PROVIDED** = 221 SPACES

**SITE LAYOUT KEY**

A5	STANDARD DUTY BITUMINOUS PAVEMENT	SEE DETAIL A5
C3	TYPE 1 CONCRETE CURB & GUTTER	SEE DETAIL C3
C4	TYPE 2 CONCRETE CURB & GUTTER	SEE DETAIL C4
C9	STANDARD DUTY CONCRETE WALKWAY/PAVEMENT	SEE DETAIL C9
C28	CONCRETE FLUSH TURNED DOWN WALK	SEE DETAIL C28
C36	BARRIER FREE CONCRETE WALK RAMP	SEE DETAIL C36
M16	MISCELLANEOUS CROSS WALK STRIPING	SEE DETAIL M16
M21	MISCELLANEOUS BARRIER FREE SYMBOL	SEE DETAIL M21
M23	BARRIER-FREE PARKING SPACE LAYOUT - VAN	SEE DETAIL M23
T1	BARRIER FREE PARKING SIGN	SEE DETAIL T1



CIVIL  
John Verplank



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NO.	REVISIONS	BY	DATE	DRAWN
1	FOR SITE PLAN SUBMIT		MAR 24	STAFF
2	FOR SITE PLAN RESUBMIT		APR 24	APR '24
				CHECKED: JVP
				DATE: APR '24

**Prein & Newhof**  
Engineers • Surveyors • Environmental • Laboratory

STORYPOINT KALAMAZOO AT BRONSON PLACE  
KALAMAZOO, MI

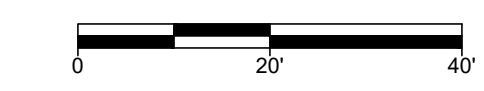
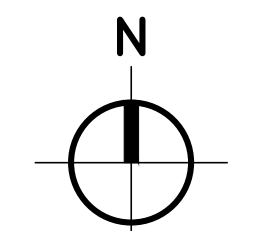
MEMORY CARE ADDITION

**SITE PLAN**

PROJECT NO.  
2230819

SHEET NO.

**C201**



SITE LEGEND LAYOUT

**SITE LAYOUT KEY**  
 C9 STANDARD DUTY CONCRETE PAVEMENT SEE DETAIL C9

**SIDEWALK NOTES**  
 1. A NON-MOTORIZED PROJECT PERMIT FOR NEW SIDEWALK FACILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE OBTAINED FROM THE ROAD COMMISSION OF KALAMAZOO COUNTY PRIOR TO APPLYING FOR THE BUILDING PERMIT.  
 2. A OSHTEMO TOWNSHIP SIDEWALK PERMIT SHALL BE OBTAINED WITH THE APPLICATION FOR THE BUILDING PERMIT. THE PERMIT REQUIRES COMPLIANCE WITH PRE AND POST POUR INSPECTIONS. CONTACT OSHTEMO PUBLIC WORKS DEPARTMENT AT PUBLICWORKS@OSHTEMO.ORG OR (269) 375-4260.

CONCRETE CURB & GUTTER

SIGN

BARRIER FREE RAMP

BARRIER FREE LANDING

PARKING AREA STRIPING ISLAND

STANDARD DUTY CONCRETE PAVEMENT

STANDARD DUTY BITUMINOUS PAVEMENT

TRAFFIC FLOW

PARKING STALL COUNT

TRANSITION FROM NORMAL TO REVERSE SLOPE GUTTER SECTION (5' TRANSITION LENGTH)

LIGHT POLE (REFER TO AE PLANS)

THE REQUIREMENT FOR THE CONSTRUCTION OF A FRONTAGE SIDEWALK ALONG MAPLE HILL DRIVE IS UNDER REVIEW BY OSHTEMO CHARTER TOWNSHIP. THE TOWNSHIP IS REVIEWING THE SIDEWALK POLICY AND THE EXTENT REQUIRED IN THIS AREA AS IT RELATES TO THE STORYPOINT KALAMAZOO AT BRONSON PLACE MEMORY CARE ADDITION. THE TOWNSHIP WILL RESOLVE THE EXTENT OF FRONTAGE SIDEWALK REQUIRED PRIOR TO PROJECT OCCUPANCY.

T:\OVL\00 PROJECTS\2023\230819\_C202 DEVELOPMENT STRIPPOINT COTTAGES\4\_PROJ\230819 - C202 SITE PLAN - CROYDEN.DWG - MILLER - Apr. 26 2024 - 08:30am - P:\m\m\m\

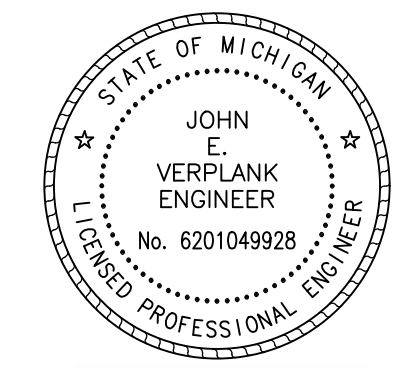


UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NO.	REVISIONS	BY	DATE	DRAWN
1	FOR SITE PLAN SUBMIT		MAR 24	STAFF
2	FOR SITE PLAN RESUBMIT		APR 24	APR '24
3	FOR SITE PLAN RESUBMIT		APR 24	JVP
				APR '24

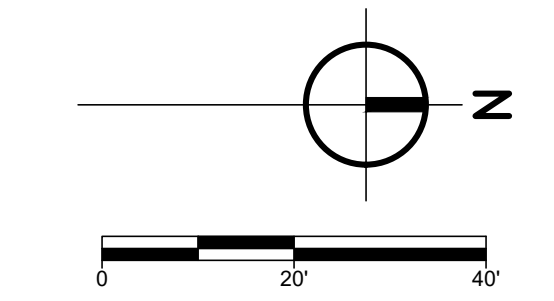


STORYPOINT KALAMAZOO AT BRONSON PLACE  
 KALAMAZOO, MI  
 MEMORY CARE ADDITION  
 SITE PLAN - CROYDEN DRIVE



CIVIL  
*John Verplank*

PROJECT NO.  
**2230819**  
 SHEET NO.  
**C202**

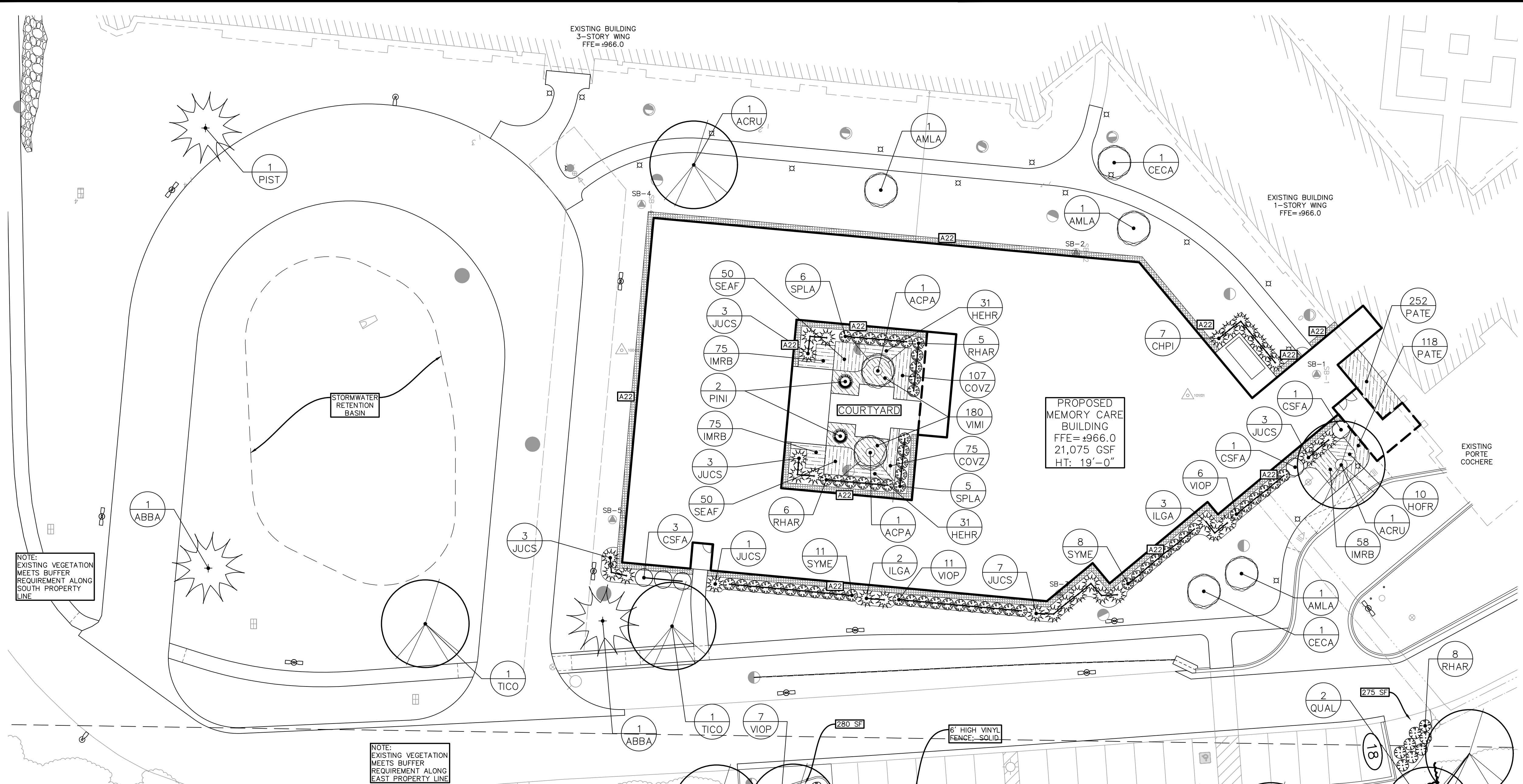


**LANDSCAPE PLANTING NOTES**

1. TOPSOIL AND SEED ALL DISTURBED AREAS NOT DESIGNATED FOR LANDSCAPE BEDS/PLANT MATERIALS. CONTRACTOR SHALL RESTORE DISTURBED AREAS WITH TOPSOIL AND SEED DAMAGED AS A RESULT OF CONSTRUCTION.
2. SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLANS AS SHOWN.
3. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETIC OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
4. REMOVE THE CONTAINER FROM CONTAINER GROWN STOCK, AND CUT THE BALL VERTICALLY THROUGH THE SURFACE IN TWO LOCATIONS.
5. STAKE THE LOCATION OF ALL TREES AND SHRUBS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE ONE DAY PRIOR TO PLANTING.
6. SPRAY ALL PLANTS WITH AN ANTIDISSICANT WITHIN 24 HOURS OF PLANTING, AND AT THE BEGINNING OF THEIR FIRST WINTER.
7. ALL PLANT MATERIAL SHALL BE FREE OF DISEASE AND INSECTS AND CONFORM TO THE AMERICAN NURSERY STOCK OF THE AMERICAN ASSOCIATION OF NURSERMEN
8. THOROUGHLY WATER ALL PLANTS TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING.

**LANDSCAPE PLANTING DATA**

INTERIOR SITE LANDSCAPING	= 98,185 SFT
CONSTRUCTION AREA	= 9,820 SFT
10% PROPOSED	= 7 REQUIRED
1-CANOPY TREE/1,500 SFT	= 7
1-UNDERSTORY TREE/2,500 SFT	= 4 REQUIRED
PROPOSED	= 3
PROPOSED PARKING (19-SPACES)	= 475 SFT REQUIRED
25 SFT/SPACE	= 555 SFT
PROPOSED	= 3
1-CANOPY TREE & 2 LOW GROWING SHRUBS/200 SFT	= 3 REQUIRED
PROPOSED	= 3
LOW GROWING SHRUB	= 5 REQUIRED
PROPOSED	= 15
SCREENING BETWEEN LAND USES	
2-CANOPY, 2-EVERGREEN, AND 2-UNDERSTORY TREES/100 LF	
(196 LF PROPOSED)	
CANOPY TREE	= 4 REQUIRED
PROPOSED	= 4
EVERGREEN TREE	= 4
PROPOSED	= 4
UNDERSTORY TREE	= 4
PROPOSED	= 4

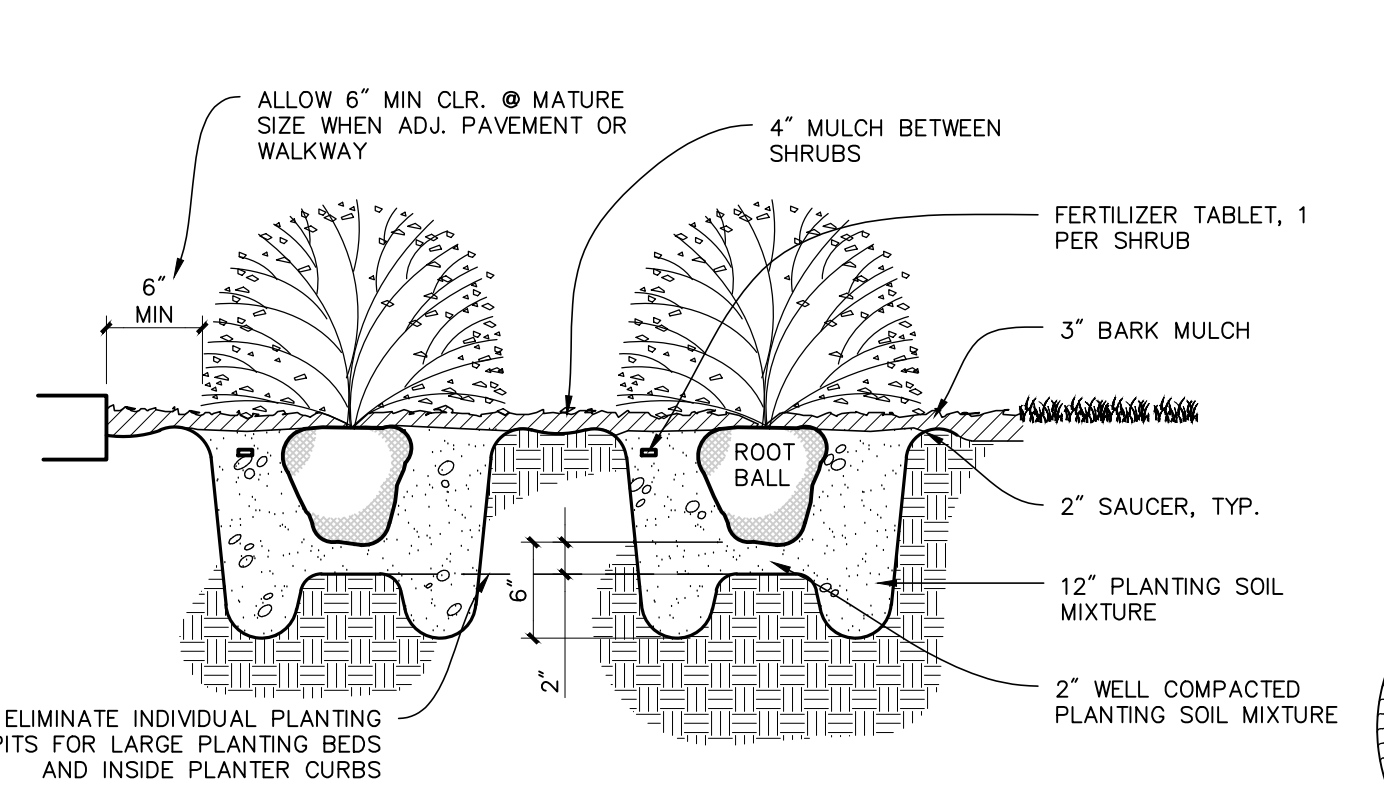
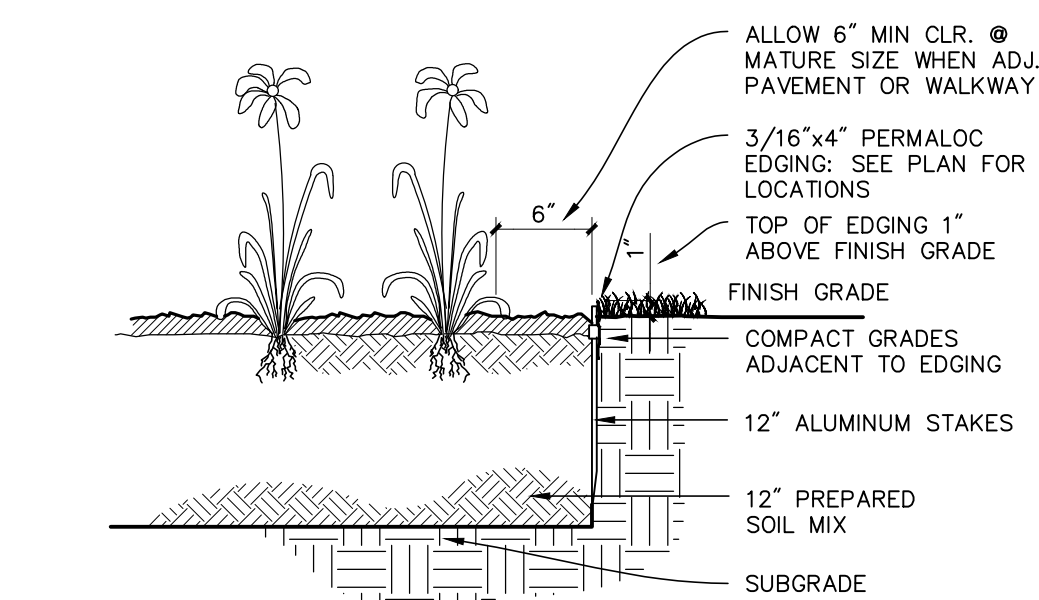
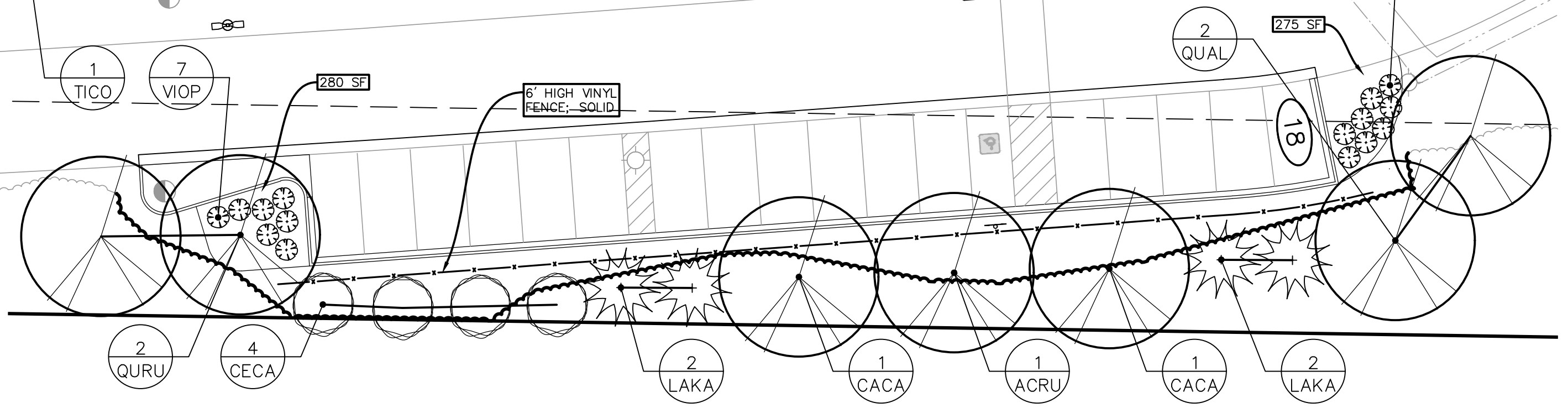


NOTE: EXISTING VEGETATION MEETS BUFFER REQUIREMENT ALONG SOUTH PROPERTY LINE

NOTE: EXISTING VEGETATION MEETS BUFFER REQUIREMENT ALONG EAST PROPERTY LINE

**PLANT LIST**

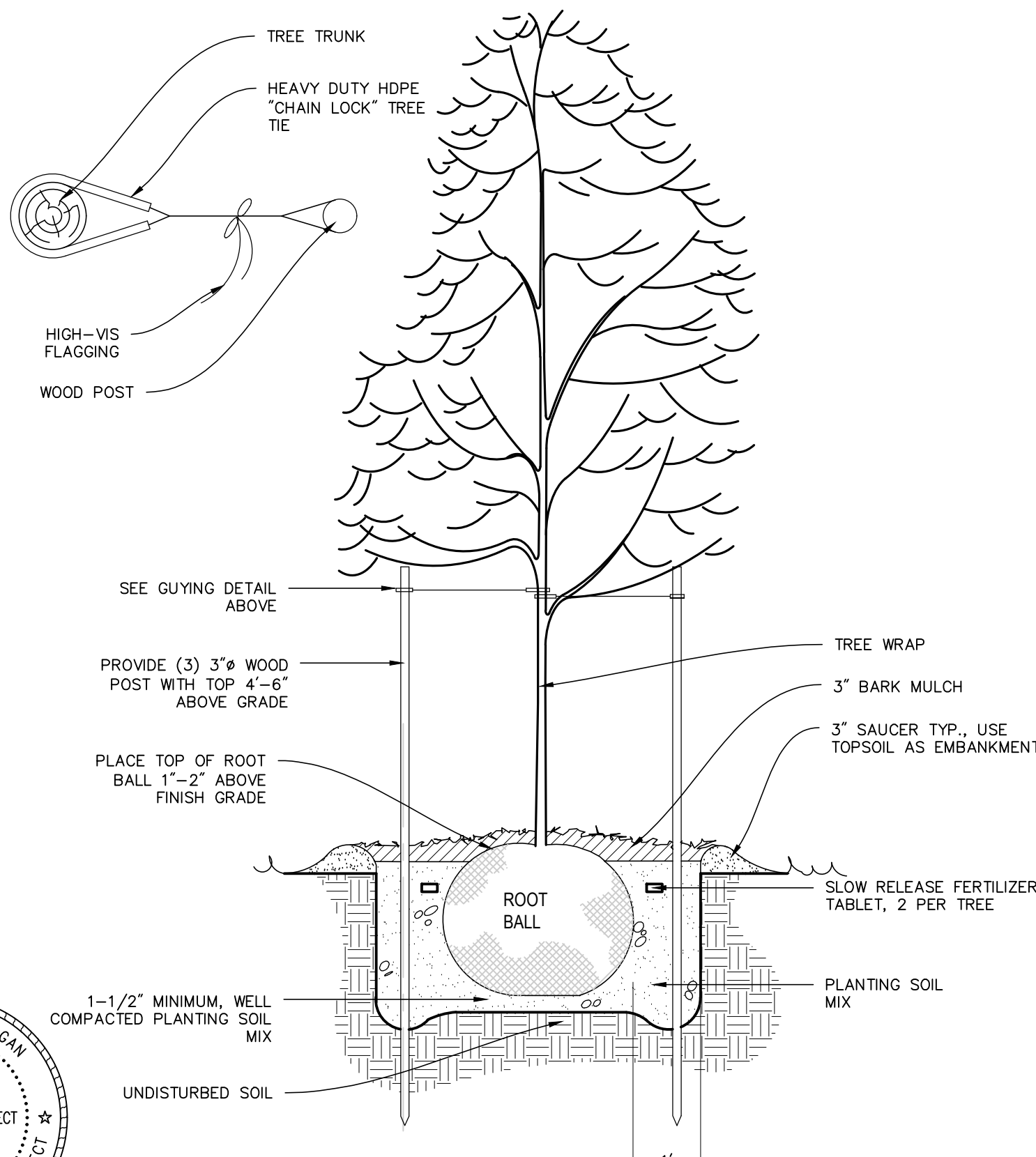
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
<b>DECIDUOUS TREES</b>					
ACAR	3	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2 1/2" CAL	B&B
CACA	2	QUERCUS ALBA	WHITE OAK	3" CAL	B&B
QUAL	2	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2 1/2" CAL	B&B
QURU	2	QUERCUS RUBRUM	RED OAK	2 1/2" CAL	B&B
TICO	2	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2" CAL	B&B
<b>ORNAMENTAL TREES</b>					
ACPA	2	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD LACE LEAF MAPLE	5' HT	B&B
AMLA	3	AMELANCIER LAEVIS	ALLEGHENY SERVICEBERRY	6' HT	B&B
CECA	6	CERCIS CANADENSIS	EASTERN REDBUD	6' HT	B&B
<b>EVERGREEN TREES</b>					
ABBA	1	ABIES BALSAMEA	BALSAM FIR	6'	B&B
CHPI	7	CHAMAECYARIS PISIFERA 'BABY BLUE'	BABY BLUE SAWARA CYPRESS	6'	B&B
LAKA	4	LARIX LARKINA	TAMARACK	6'	B&B
PIST	1	PINUS STROBUS	EASTERN WHITE PINE	8'	B&B
<b>DECIDUOUS SHRUBS</b>					
CSFA	5	CORNUS STOLONIFERA 'FARROW'	ARTIC FIRE RED TWIG DOGWOOD	#5 CONT	342" OC SPACING
RHAR	19	RHUS AROMATICA 'GROW LOW'	'GROW LOW' FRAGRANT SUMAC	#2 POT	42" OC SPACING
SPAL	11	SPIRAEA ALBA	MEADOWSWEET	#5 CONT	36" OC SPACING
SYME	19	SYRINGA MEYERI 'PALUBIN'	PALUBIN DWARG LILAC	#3 CONT	42" OC SPACING
VIOP	24	VBURNUM OPULUS 'NANUM'	DWARF CRANBERRY	3" HT	B&B
<b>EVERGREEN SHRUBS</b>					
ILGA	5	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY HOLLY	#5 CONT	4" SPACING
JUCS	20	JUNIPERUS CHINENSIS SARGENTI	GREEN SARGENT JUNIPER	#5 CONT	60" OC SPACING
PINI	2	PICEA ABIES 'NIDIFORMIS'	BIRD'S NEST SPRUCE	24" HT	B&B
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>					
COVZ	182	COREOPSIS VERTICILLATA 'ZAGREB'	'ZAGREB' THREADLEAF COREOPSIS	8/FLAT	12" OC SPACING
HEHR	62	HEMEROCALLIS 'HAPPY RETURNS'	'HAPPY RETURNS' DAYLILY	8/FLAT	18" OC SPACING
HOFR	10	HOSTA 'FRANCEE'	FRANCEE HOSTA	8/FLAT	30" OC SPACING
IMRB	208	IMPERATA CYLINDRICA 'RED BARON'	JAPANESE BLOOD GRASS	8/FLAT	12" OC SPACING
PATE	370	PACHYSANDRA TERMINALIS	'GREEN CARPET' PACHYSANDRA	24/FLAT	12" OC SPACING
SEAF	100	SEDUM 'SPECTABILE 'AUTUMN FIRE'	AUTUMN FIRE STONECROP	8/FLAT	18" OC SPACING
VIMI	180	VINCA MINOR	MYRTLE	#1 POT	16" OC SPACING



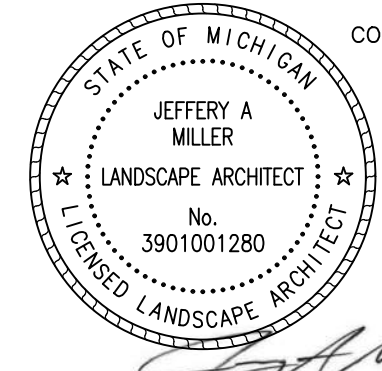
NOTES:  
 1. INSTALL EDGING PER MANUFACTURER'S 'INSTALLATION GUIDELINES'  
 2. PERMALOC CLEANLINE AS MFG. BY PERMALOC CORPORATION, HOLLAND MI 48001-356-9660, WWW.PERMALOC.COM

**PERENNIAL PLANTING & BED EDGING**  
 SCALE : 1" = 1'-0"

**SHRUB PLANTING**  
 SCALE : 1" = 1'-0"



**TREE PLANTING**  
 SCALE : 1/2" = 1'-0"



NO.	REVISIONS	BY	DATE	DRAWN
1	FOR SITE PLAN SUBMIT		MAR 24	STAFF
2	FOR SITE PLAN RESUBMIT		APR 24	STAFF

**Prein & Newhof**  
 Engineers • Surveyors • Environmental • Laboratory

STORYPOINT KALAMAZOO AT BRONSON PLACE  
 KALAMAZOO, MI  
 MEMORY CARE ADDITION  
**LANDSCAPE PLANTING PLAN**  
 PROJECT NO. 2230819  
 SHEET NO. **L100**

T:\WORK\PROJECTS\2023\2230819\_CSG DEVELOPMENT\_STORPOINT KOTITACEY\_V\_0000\2230819 - L100 LANDSCAPE PLANTING - MILLER - Apr. 01 2024 - 02:10pm - P:\d\k\m\l\





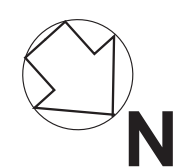
**PROPOSED  
1-STORY  
MEMORY  
CARE WING  
(28 BEDS)**

**TYPICAL  
STUDIO UNIT  
340 SF (GROSS)  
308 SF (NET)**

ALL MEMORY CARE UNITS TO BE ACCESSIBLE (IBC-1107.5.2.1)

ACCESSIBLE SEATING AT BUILT-IN SEATING (IBC-1109.11) (A117.1-902)

GREATER THAN 5% OF LOCKERS TO BE ACCESSIBLE WITH ACCESSIBLE BENCH IN AREA (A117.1-803)



**MEMORY CARE WING - 28 BEDS**



NOTE: 10'-0" HIGH CEILINGS THROUGHOUT COMMON AREAS.

(21,075 TOTAL GSF)

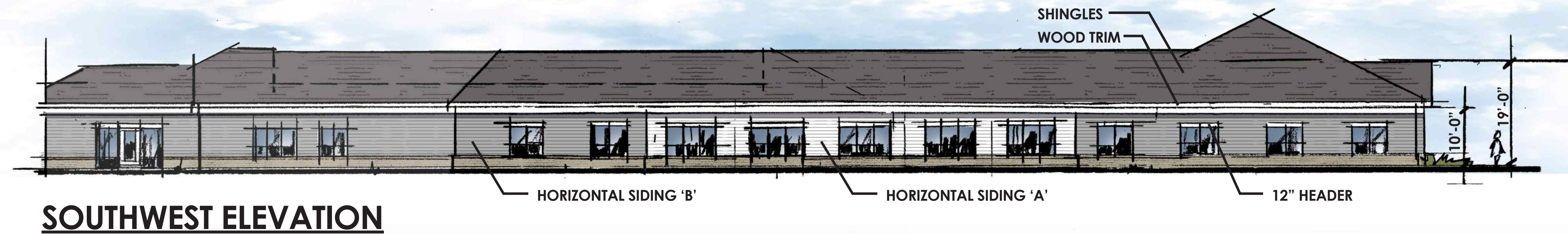


**MEMORY CARE WING  
BRONSON PLACE**  
COMMON SAIL DEVELOPMENT GROUP  
OSHTEMO TOWNSHIP,  
MICHIGAN

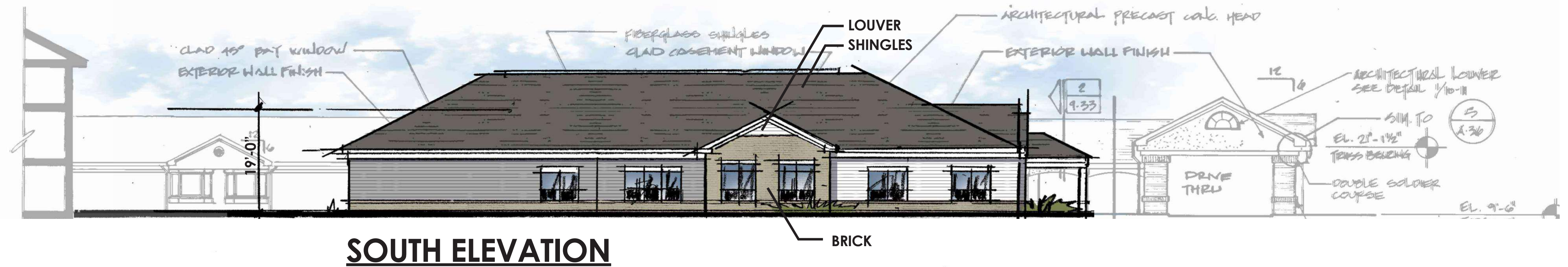
**FSP** FUSCO,  
SHAFFER &  
PAPPAS, INC.  
ARCHITECTS & PLANNERS

04.01.24

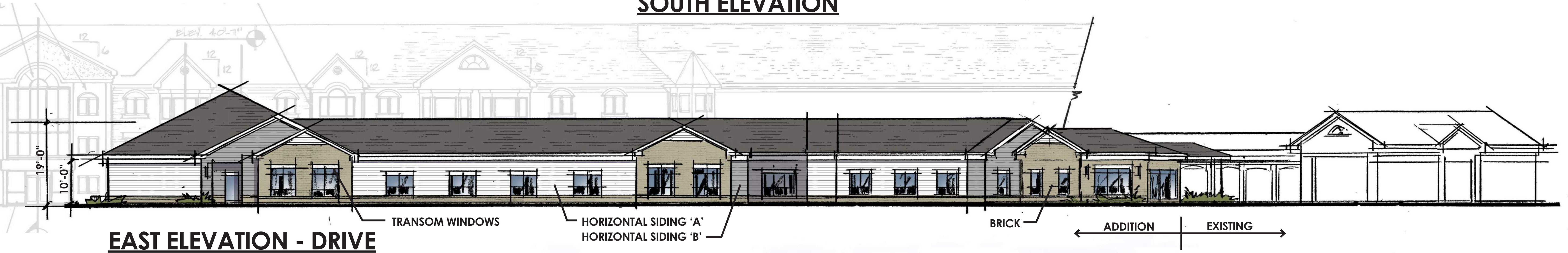
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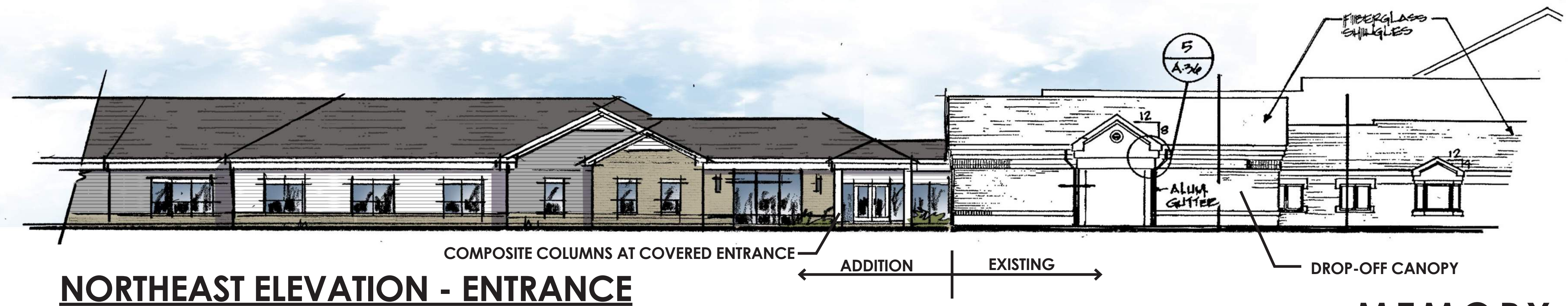
**SOUTHWEST ELEVATION**



**SOUTH ELEVATION**



**EAST ELEVATION - DRIVE**



**NORTHEAST ELEVATION - ENTRANCE**

**MEMORY CARE WING - ELEVATIONS**

0 8' 16' 32'



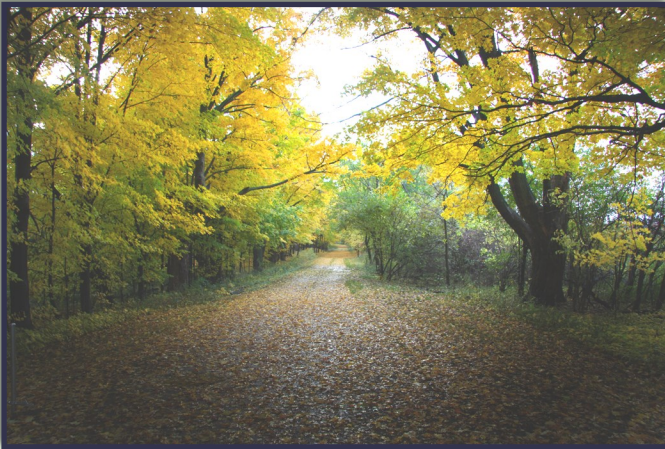
**MEMORY CARE WING  
BRONSON PLACE  
COMMON SAIL DEVELOPMENT GROUP**  
OSHTEMO TOWNSHIP,  
MICHIGAN

**FSP FUSCO,  
SHAFFER &  
PAPPAS, INC.**  
ARCHITECTS & PLANNERS

04.01.24

A.102

OSHTEMO  
**PLANNING DEPARTMENT  
ANNUAL REPORT**  
2023  
TOWNSHIP



## LEGISLATIVE REQUIREMENTS

Section 308 of the Michigan Zoning Enabling Act (Public Act 110 of 2006, as amended) requires the Planning Commission to prepare an annual report for the Township Board documenting the administration of the Zoning Ordinance. It is also a requirement to outline possible future amendments to the Ordinance. This report fulfills this obligation for 2023 and provides updates on the activities and projects planned for 2024.

The Planning Department has expanded the scope of the report to further document the activities of the Zoning Board of Appeals and the administrative activities of the Planning Department staff. By doing so, the document provides a more complete picture of the Planning and Zoning activities in the Township. This report is submitted to the Township Board for review and consideration as it develops its own work plans and budgets for the coming years.

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# PLANNING COMMISSION

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## 2023 ORDINANCE AMENDMENTS

**Ordinance No. 647** – (*Zoning Board of Appeals*) Text Amendment to Article 69, complete rewrite. This amendment of all residential zones within the Township to allow for Qualified Residential Treatment Programs (QRTP) as defined by Chapter 722 of Michigan Compiled Laws Governing Child Welfare Organization as a permitted use.

**Ordinance No. 648** – Text Amendment to Article 50, Section 50.10 A & C, Article 64, Section 64.90A, & Article 65, Section 65.60. Ordinance Amendments to Article 64 and 65 were necessary because the Township Ordinance prescribed a one-year approval for Site Plans and Special Uses, with an option to request an extension from the original approving body prior to the expiration of the one-year validity period, allowing administrative approval of the extensions. The Ordinance Amendment to Article 50 provided clarification on how frontage is measured, whether lots or building sites need to be situated on a public street or road, and when a deviation for an unbuildable parcel is warranted.

**Ordinance No. 653** – (*Commercial Wind Energy Conversion System & Commercial Solar Energy Array Zoning Moratorium*) Text Amendments to Sections: 2, 4.40, 5.40, 8.4, 9.4, 10.4, 11.40, 18.40, 19.50, 20.40, 21.40, 26.50, 27.40 & 28.40. This Amendment imposed a Moratorium on all Consumer Wind Energy Conversion Systems and Commercial Solar Arrays until the time that necessary ordinance provisions are revised or developed, to ensure the public health, safety, and welfare associated with the Development of Commercial Wind Energy Conversion Systems and/or Commercial Solar Arrays.

**Ordinance No. 654** – (*Airport Zoning*) Amendment adding Article 58 to the Township Zoning Ordinance. This Ordinance Amendment was to protect the flight patterns and landing area of Newman’s Field, a public use airport.

**Ordinance No. 656**– (*Wireless Telecommunication Facilities 5g*) Repeals Article 49.80 and replaces it with Article 59 of the Township Zoning Ordinance. This Ordinance Amendment related to Federal regulations which required that municipalities allow for 5G facilities. Since the Township did not have any guidance, it was pertinent to update the Ordinance to allow

the Township to have control over where and how the facilities are placed.

**Ordinance No. 659**- Text Amendment to Section 2.20, 42.30, & 50.30. This Ordinance Amendment was drafted while creating the Airport Ordinance, when Staff became aware that the Township Ordinance did not set height limitations for a majority of single- and two-family dwellings. To ensure the intent of the airport ordinance can be fully executed, height standards were needed.

**Ordinance No. 660**- (*Solar Energy Systems*) Amendment adding Article 60 to the Township Zoning Ordinance. This Ordinance Amendment was prepared to address the lack of a comprehensive general ordinance or zoning ordinance provisions regarding the development of commercial Solar Energy Systems within the Township.

**Ordinance No. 651** - (*Private Road & Private Streets Zoning Moratorium*) Text Amendment to Article 34, Section 34.70, Article 35, Section 35.50, Article 41, Section 41.80, Article 42, Section 42.30, Article 43, Section 43.50, Article 44, Section 44.50, Article 48, Section 48.100, & Article 49, Section 49.200. This Amendment imposed a Moratorium on all Private Roads/ Streets, until such time as the Zoning Ordinance can be revised to incorporate the necessary revisions to address connectivity and access management to ensure, public health, safety, and welfare, associated with the development of Private Roads/ Streets.

**Ordinance No. 662**- (*Amended Private Road & Private Streets Zoning Moratorium*) Text Amendment to Article 34, Section 34.70, Article 35, Section 35.50, Article 41, Section 41.80, Article 42, Section 42.30, Article 43, Section 43.50, Article 44, Section 44.50, Article 48, Section 48.100, & Article 49, Section 49.200. This Amendment accomplished the same as Ordinance No. 651.

## **ORDINANCE PROJECTS CONTINUING INTO 2024**

*Signage Ordinance update* — Updating the regulations within Article 55, Signs and Billboards, to be fully compliant with Federal and State regulations and protections has been on the ordinance update “to - do list” for several years. The Legal Department, with collaboration from the Planning Director, drafted amendments to Article 55 that address this need. As this Article was being updated, staff found it prudent to review it in its entirety; additional amendments that provide clarification have been suggested. The proposed amendments were introduced to the Planning Commission at their regular August 25th, 2023, meeting into their regular September 8th, 2023, meeting. Planning Commissioners felt that work on this Ordinance could be put on pause due to the work on the Master Planning efforts.

*MU, Mixed Use District* — The Planning Commission is working to create a new zoning district which can be used to implement the Maple Hill Sub Area Plan and other subarea plans adopted by the Township. The creation of this district was identified by the Planning Commission as their top priority in early fall of 2022. After multiple discussions, including the review of a draft overlay ordinance from 2019, a first draft of the newly proposed zoning district was introduced to the Commission at their November 17th regular meeting. Work on this ordinance continues.

*Private Streets Ordinance* — The Planning Commission extended the Moratorium on Private Road and Private Streets two times this year (as previously mentioned in the 2023 Ordinance Amendments section). Efforts to complete the Township’s Transportation and Mobility Ordinance to create a connected transportation system that serves all travel modes and aligns with the Township’s planning goals, prioritizes safety to eliminate traffic-related injuries and fatalities, promoting public health and well-being, ensures that all of our residents have access to affordable and reliable transportation options for their daily needs, designs transportation systems that fit the unique characteristics of our community, while respecting its identity, and encourages walking, biking, and other active transportation methods, support economic growth, and promote public health. Work on this ordinance continues.

## **2023 MASTER PLANNING EFFORTS**

*Housing Action Plan* — Thriving, inclusive communities have a diverse and affordable supply of housing. For Oshtemo to address the needs of its growing population and housing affordability challenges, the Township entered into an agreement with the W.E. Upjohn Institute for Employment Research on September 28, 2021 to develop a master plan update which will translate community housing needs into recommended programs, policies, and ordinance updates. The project was kicked off with the Planning Commission on February 24, 2022. Since then W.E. Upjohn has continued their research, a number of stakeholder meetings have been held, two open houses coordinated, and an online survey launched. Work on the housing action plan continues. The project was completed

and formally adopted in 2023. Also in 2023, the preliminary stages began for creating the new Master Plan, described below.

## **UPCOMING ORDINANCE AND MASTER PLAN AMENDMENTS**

One of the purposes of the Annual Report is to look ahead to 2024 and anticipate those items that the Planning Commission desires to address or work on over the next 12 months and beyond in the area of planning and zoning.

*Upcoming Ordinance Amendments* — Ordinance amendment topics also on the Planning Commission’s project list include: the Transportation and Mobility Ordinance; signage ordinance; the Mixed-Use Ordinance; Permitted Uses, Permitted Uses with Conditions, and Special Uses; sidewalk, lighting, dry sewer in developments; marijuana; nonhazardous materials; and the continued implementation of the Go!Green Oshtemo Plan.

*Upcoming Master Plan* — The Housing Plan described above was formally adopted by the Township Board in December 2023. In partnership with Progressive AE, the Township kicked off the comprehensive master plan process. This project would include a long range transportation plan, an economic development strategic plan, the evaluation of existing master plan documents, and the incorporation of desired planning concepts such as habitat corridors and age friendly communities. This will be a multi-year project.

## **MEETINGS / ATTENDANCE**

Participation records are shown below. The Planning Commission had a total of 22 regular meetings, two joint meetings, and two special meetings. Of the 22 planned regular meetings, 18 meetings were held and four were cancelled due to lack of agenda items. November and December had only one meeting each due to the holidays. Commissioner Anna Versalle’s term ended after the July 27th meeting, while Scott Makohn joined the Planning Commission starting at the September 14th regular meeting.

Commission Members	Attendance
Zak Ford	16/18
Micki Maxwell	16/18
Alistair Smith	17/18
Phil Doorlag	17/18
Anna Versalle	11/12
Scot Jefferies	18/18
Deb Everett	16/18
Scott Makohn	4/4

## PLANNING COMMISSION CONT.

### ***SPECIAL EXCEPTION USES continued***

A total of six Special Exception Use applications were submitted and reviewed by the Planning Commission in 2023. All but one were approved (due to a ZBA decision pulling the item from the agenda), each with a specific set of conditions, which the applicant was required to meet as part of the development of the project. A table summarizing all Special Exception Use reviews in 2023 can be found below.

One of the Special Exception Uses was for a new residential development: Sunset Pointe Condominiums, located on Meridian Avenue, which is a 33 building duplex development (66 units), with club house, community pool and associated parking lot, which was approved. This item went before the Planning Commission in 2022 for initial feedback.

The Planning Commission permits staff to administratively review temporary outdoor events once they have been approved through the public hearing process or if they last only one day. One event was approved by the Planning Commission in 2023, a total of ten events were approved administratively. A summary of the ten administratively approved events can be found on page 9 of this report.

Three extension requests were submitted for Special Exception Use applications; with the extensions being approved administratively. The extension requests were for Sunset Pointe Condominiums, Faraday, and Tournesol.

Total Special Exception Use Reviews in 2023:				6
Project Title / Address	Applicant	Use/Project Summary	PC Decision	Date
Sunset Pointe Condominiums / Meridian Avenue (Parcel #05-26-460-021)	Scott Carlson, Sunset Pointe Condominiums, LLC	A 33 building duplex development (66 units), with club house, community pool and associated parking lot	Approval	3/23
Consumers Energy / Parkview Avenue (Parcel #05-25-355-010 AND #05-26-490-031)	Joseph Lawson, Consumers Energy	To establish a natural gas regulator station with a 3,240 sqft unmanned building and one 120 sqft accessory building, with security fence with barbed wire	Approval	3/23
National Health and Nutrition Examination Survey Temporary Outdoor Event / 2747 S 11th Street	Westat Inc.	To allow a temporary outdoor event to locate CDC Mobile Exam Center medical trailers in the Delta Marriot Kalamazoo parking lot from April 8, 2023, through June 10, 2023.	Approval	3/23
Friendship Animal Hospital / 2999 S 11th Street	Walt Hansen, Hansen Building and Design Corp.	To establish a 5,614 square foot veterinary and small animal clinic with corresponding site elements	Pulled from agenda due to ZBA decision	11/16
Long John Silver's / 5481 W Main Street	Greg Minshall, Matrix Consulting Engineers	To redevelop the site with one 2,288 sqft building to continue to serve as a fast food restaurant with drive through	Approved	12/14
West Port Village PUD / 5401 W H Avenue	Jeff Scheffers, Visser Construction	To amend Unit 1 within the West Port Village Planned Unit Development (PUD) to establish an assembly and convention hall use in addition to the existing office space.	Approved	5/25

**PLANNING COMMISSION CONT.**

**REZONINGS**

The Planning Commission received five rezoning requests in 2023. Three of the requests were for conditional rezonings. Summaries of the rezoning requests are provided below.

Rezoning Reviews in 2023:		5	
Request / Address	PC Recommendation	Public Hearing	TB Decision
R-3 to I-1 / 1580 S 8th Street	Approval	7/27	Adopted
R-2 and C to C / 8447 Stadium Drive *	Denial	8/24	Denied
R-2 and C to C / 8469 Stadium Drive *	Approval	10/26	Adopted
AG to RR / 9177 W G Avenue	Approval	12/14	Adopted
R-2 to R-4 / 6660 W Main Street *	Approval	3/23	Adopted

\* Indicates Conditional Rezoning

# ZONING BOARD OF APPEALS

## **SITE PLAN REVIEW**

One site plan review went before the Zoning Board of Appeals, which was for a new construction/an addition to an existing site. Adam Harvey of Glas Associates, on behalf of Taplin, requested site plan review in order to construct a 40,375 square foot maintenance and storage facility, located at 5070 W Michigan Avenue. This item was approved by the Zoning Board of Appeals on March 21, 2023.

## **TEXT INTERPRETATION**

The Zoning Board of Appeals reviewed one text interpretation request in 2023. A text interpretation is where the Zoning Board of Appeals is authorized to interpret the text of the Zoning Ordinance. The one text interpretation that the Zoning Board of Appeals reviewed in 2023 involved an interpretation of Section 41.60.B of the Zoning Ordinance to determine if assembly and convention halls are an appropriate neighborhood commercial use within a residential PUD. The motion was approved to interpret Section 41.60.B to allow Assembly and Convention Halls (meeting rooms) as an acceptable neighborhood commercial use within a Residential PUD as they can be a low intensity commercial use serving the neighborhood as well as the needs of the residents within the development.

## **VARIANCES**

The Zoning Board of Appeals reviewed one dimensional variance request in 2023. A variance is a license to use property in a way not permitted under the ordinance. If the Township received a large number of variance applications each year on a specific ordinance requirement, it could mean there is something out-of-step with that ordinance, necessitating a review that may warrant an ordinance revision.

The one dimensional variance request received by the Zoning Board of Appeals was to construct a new commercial building 25 feet from both of the side yards while 50.70.E of the Township Ordinance requires 50-foot side yard setbacks. The project was at 2999 S 11th Street. The Zoning Board of Appeals denied the request.

The Zoning Board of Appeals also reviewed two non-dimensional variances. These were for Sign Impressions, on behalf of HCD Properties LLC, requesting two sign variances pertaining to new on-site signage for an industrial property located at 3680 Stadium Park Way. Both variances were requesting relief from Section 55.90 of the zoning ordinance which governs the use, area, type height, and number of signs allowed for industrial land uses. Both requests were approved by a unanimous motion.

## **MEETINGS / ATTENDANCE**

Zoning Board of Appeals meetings are generally scheduled on the fourth Tuesday of each month. In 2023, of the twelve regularly scheduled meetings, four were held and eight canceled due to lack of agenda items. In addition, the Zoning Board of Appeals was invited to two Joint Board meetings. As shown on the table on the right, the Zoning Board of Appeals is highly engaged and has a strong participation record.

<b>Board Members</b>	<b>Attendance</b>
Alistair Smith	3/4
Anita Smith, Chair	4/4
Louis Williams	4/4
Fred Gould	4/4
Dusty Famer, TB Liaison	4/4
Harry Jachym	4/4
Rick Everett	4/4



# PLANNING DEPARTMENT REVIEWS

The Planning Department processes all of the development applications that are submitted to the Township, including rezoning requests, variances, site plans, building permits, sign permits, and sidewalk permits. The Planning Department reviewed nearly 600 applications.

The Zoning Ordinance grants the authority to the Planning Department to administratively review and approve site plans in certain instances. These include minor amendments to a previously approved site plan, accessory buildings that meet certain criteria, certain temporary outdoor events, and communication tower co-locations or upgrades. A total of 19 administrative development reviews were completed in 2023. A brief summary of the 2023 staff level reviews are on the following pages. Please note that two applications were either withdrawn by the applicant or staff is awaiting resubmittal (these projects are not included in the administrative development review total).

In addition to the site plan applications noted above, the Planning Department also completed reviews for land divisions, sign permits, building permits, zoning verification letters, and address assignment. These reviews account for a significant portion of the Zoning Administrator's daily activities.

## ***BUILDING PERMITS***

Planning Department staff reviews building permit applications that are subject to zoning compliance as determined by the Southwest Michigan Building Authority, now the Oshtemo Building Department, to ensure that all requirements of the zoning ordinance are met. Staff also checks for any conditions of approval that may have been placed on the property by the Planning Commission or Zoning Board of Appeals during the plan review and approval process. In 2023, the Township issued 469 building permits. Of the total number of building permits issued in 2023, 311 required zoning approval by the Township Zoning Administrator.

## ***SIGN PERMITS***

A total of 38 sign permits were issued in 2023. New signs were over half of the sign permits issued in 2023, at 29 permits. The remaining 9 permits were for temporary signs or special event signs. The majority of the total sign permits were issued to addresses on West Main Street, with the remaining sign permits primarily on Stadium Drive and the Drake Road and 9th Street corridors.

## ***LAND DIVISIONS, COMBINATIONS, REDESCRIPTIONS***

In 2023, the Zoning Administrators worked with the Assessing Department to review 12 land division, re-description, or combination applications. The task of the Zoning Administrator is

to ensure that the requested change to property boundaries meets the requirements established in the Township's Zoning Ordinance.

## ***SIDEWALK PERMITS***

In 2015, the Township initiated a sidewalk permitting process to help ensure new sidewalk development meets regulatory standards. These requirements incorporate the Americans with Disabilities Act standards for accessible design. The permit requires both a pre- and post-concrete pour inspection, which is managed by the Public Works Department. In 2023, a total of 18 sidewalk permits were issued. The number of sidewalk permits issued is indicative of the residential construction occurring in the Township.

## ***ADDRESSING***

In March of 2021 the Township adopted a new Street Name and Addressing Workflow in which the assignment of all street addresses became the responsibility of the Planning Department. The goal for the new workflow is to create a uniform address and street data procedure for more consistent assignment and for improved emergency response within the Oshtemo Township limits. In 2023, 15 address requests were approved. Of the 15, two were for multi-tenant commercial centers. Two were for two residential developments. The residential developments included addresses for a 31-unit manufactured housing community along with addresses for a 66-unit condominium development.

## ***ZONING VERIFICATION LETTERS***

A Zoning Verification Letter is a document provided to an individual by the Township that verifies the current zoning of a particular piece of property, the types of uses that are allowed in that zoning district, approval records, and other requested zoning information or documents. In 2023, 11 Zoning Verification letters were issued.

**ADMINISTRATIVE SITE PLAN REVIEWS**

Total Amendments Administratively Reviewed in 2023:		6
Address	Applicant	Use/Project Summary
1300 S 8th Street	Naylor Landscaping	New building on site with corresponding site modifications
501 N 9th Street	Carlson Consulting Engineers, Inc.	Parking lot repaving and improvements for Walmart (2)
5034 W KL Avenue	Willard Mott	Directional signage added to site
6740 Andover Drive	Anna Bullock / Jennifer Flannery	Pinehurst Townhomes site modifications
6312 Quail Run Drive	Jason Miner	Heritage Christian Academy site additions

**ADMINISTRATIVE COMMUNICATION TOWER REVIEWS**

Total Administrative Communication Tower Upgrade Reviews in 2023:		2
Address	Applicant	Approval Date
4048 S 9 <sup>th</sup> Street	SMJ Consulting Services	4/5
5656 Beech Street	Mastec Network Solutions, LLC	7/28

## TEMPORARY OUTDOOR EVENTS

Total Administratively Reviewed Temporary Outdoor Events in 2023:			10
Address	Applicant	Event	Approval Date
717 N Drake Road	B2 Outlet Stores	Temporary outdoor event in the site's parking lot with food trucks on March 28, 2023.	3/24
2345 N 10th Street	Centerpoint Church	Temporary outdoor event for Trunk or Treating held on October 21, 2023.	10/19
6800 W Main Street	Country Fresh Farms	Meat sale event, taking place from the site's parking lot from July 19, 2023, through July 22, 2023.	6/12
8178 W Main Street	D&R Sports Center	Temporary outdoor Boat and Sports show with a food vendor from April 14, 2023, through April 16, 2023.	3/20
5034 W KL Avenue	The Good Stuff Fireworks	Temporary outdoor sale of fireworks from the site's parking lot from June 22, 2023, through July 8, 2023.	6/22
8456 Stadium Drive	Lawton Ridge Winery	Temporary outdoor event in the site's parking lot with food trucks on Wednesdays from April 12, 2023, through October 25, 2023.	4/3
8126 W Main Street	Kazoopy's Pizza & Grinders	Temporary outdoor car show in the site's parking lot on May 21, 2023.	5/19
5030 W Main Street	Oshtemo Township Rotary Club	Temporary outdoor event for the Oshtemo Rotary Family Festival in the site's rear parking lot on May 25, 2023, through May 29, 2023.	5/16
6660 W Main Street	TNT Fireworks	Temporary outdoor sale of fireworks from the site's parking lot from June 27, 2023, through July 5, 2023.	6/12
2747 S 11th Street	Westat Inc.	Temporary outdoor event to locate CDC Mobile Exam Center medical trailers in the Delta Marrior Kalamazoo parking lot from April 8, 2023, through	3/23