



7275 W. MAIN STREET, KALAMAZOO, MI 49009-9334  
269-216-5220 Fax 375-7180  
www.oshtemo.org

**OSHTEMO CHARTER TOWNSHIP  
PLANNING COMMISSION MEETING**

**OSHTEMO TOWNSHIP HALL  
7275 WEST MAIN STREET**

**THURSDAY, MAY 23, 2024  
6:00 P.M.**

**AGENDA**

1. Welcome and Call to Order
2. Pledge of Allegiance
3. Approval of Agenda
4. Public Comment on Non-Agenda Items
5. Approval of Minutes: May 9, 2024
6. **Public Hearing: Special Exception Use – Civitas Classical Academy**  
Civitas Classical Academy is requesting special exception use approval to establish a K-6 private school within Immanuel Fellowship Church at 6015 West H Avenue.
7. **Public Hearing: Special Exception Use & Site Plan Approval – Friendship Animal Hospital**  
Laura Billings, DVM is requesting special exception use and site plan approval to establish a veterinary clinic at 6476 Valley Industrial Drive.
8. **Public Hearing: Tentative Preliminary Plan – Westport Village Site Condominium Phase 3**  
Visser Developers of Kalamazoo, LLC is requesting approval for the division of phase 3 of the Westport Village planned unit development on West H Avenue into phases 3 and 4; and step one tentative preliminary plan approval for phase 3 of Westport Village consisting of 17-units.
9. Other Updates and Business
  - a. Comprehensive Plan Visioning Session – June 13.
  - b. Building tour.
10. Adjournment

*(Meeting will be available for viewing through <https://www.publicmedianet.org/gavel-to-gavel/oshtemo-township>)*

**Policy for Public Comment  
Township Board Regular Meetings, Planning Commission & ZBA Meetings**

All public comment shall be received during one of the following portions of the Agenda of an open meeting:

- a. Citizen Comment on Non-Agenda Items or Public Comment – while this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official or staff member to respond at a later date. More complicated questions can be answered during Township business hours through web contact, phone calls, email ([oshtemo@oshtemo.org](mailto:oshtemo@oshtemo.org)), walk-in visits, or by appointment.
- b. After an agenda item is presented by staff and/or an applicant, public comment will be invited. At the close of public comment there will be Board discussion prior to call for a motion. While comments that include questions are important, depending on the nature of the question, whether it can be answered without further research, and the relevance to the agenda item at hand, the questions may not be discussed during the Board deliberation which follows.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name, but it is not required.

All public comment offered during public hearings shall be directed, and relevant, to the item of business on which the public hearing is being conducted. Comment during the Public Comment Non-Agenda Items may be directed to any issue.

All public comment shall be limited to four (4) minutes in duration unless special permission has been granted in advance by the Supervisor or Chairperson of the meeting.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor or Chairperson of the meeting shall terminate any public comment which does not follow these guidelines.

(adopted 5/9/2000)  
(revised 5/14/2013)  
(revised 1/8/2018)

Questions and concerns are welcome outside of public meetings during Township Office hours through phone calls, stopping in at the front desk, by email, and by appointment. The customer service counter is open from Monday-Thursday, 8 a.m.-1 p.m. and 2-5 p.m., and on Friday, 8 a.m.–1 p.m. Additionally, questions and concerns are accepted at all hours through the website contact form found at [www.oshtemo.org](http://www.oshtemo.org), email, postal service, and voicemail. Staff and elected official contact information is provided below. If you do not have a specific person to contact, please direct your inquiry to [oshtemo@oshtemo.org](mailto:oshtemo@oshtemo.org) and it will be directed to the appropriate person.

<b>Oshtemo Township Board of Trustees</b>		
<b><u>Supervisor</u></b>		
Cheri Bell	216-5220	<a href="mailto:cbell@oshtemo.org">cbell@oshtemo.org</a>
<b><u>Clerk</u></b>		
Dusty Farmer	216-5224	<a href="mailto:dfarmer@oshtemo.org">dfarmer@oshtemo.org</a>
<b><u>Treasurer</u></b>		
Clare Buszka	216-5260	<a href="mailto:cbuszka@oshtemo.org">cbuszka@oshtemo.org</a>
<b><u>Trustees</u></b>		
Neil Sikora	760-6769	<a href="mailto:nsikora@oshtemo.org">nsikora@oshtemo.org</a>
Kristin Cole	375-4260	<a href="mailto:kcole@oshtemo.org">kcole@oshtemo.org</a>
Zak Ford	271-5513	<a href="mailto:zford@oshtemo.org">zford@oshtemo.org</a>
Michael Chapman	375-4260	<a href="mailto:mchapman@oshtemo.org">mchapman@oshtemo.org</a>

<b>Township Department Information</b>			
<b><u>Assessor:</u></b>			
Kristine Biddle	216-5225	<a href="mailto:assessor@oshtemo.org">assessor@oshtemo.org</a>	
<b><u>Fire Chief:</u></b>			
Greg McComb	375-0487	<a href="mailto:gmccomb@oshtemo.org">gmccomb@oshtemo.org</a>	
<b><u>Ordinance Enforcement:</u></b>			
Rod Rought	216-5222	<a href="mailto:rrought@oshtemo.org">rrought@oshtemo.org</a>	
<b><u>Parks Director:</u></b>			
Vanessa Street	216-5233	<a href="mailto:vstreet@oshtemo.org">vstreet@oshtemo.org</a>	
Rental Info	216-5224	<a href="mailto:oshtemo@oshtemo.org">oshtemo@oshtemo.org</a>	
<b><u>Planning Director:</u></b>			
Jodi Stefforia	375-4260	<a href="mailto:jstefforia@oshtemo.org">jstefforia@oshtemo.org</a>	
<b><u>Public Works Director:</u></b>			
Anna Horner	216-5228	<a href="mailto:ahorner@oshtemo.org">ahorner@oshtemo.org</a>	

**OSHTEMO CHARTER TOWNSHIP  
PLANNING COMMISSION  
MINUTES OF A MEETING HELD MAY 9, 2024**

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**Agenda**

**Discussion: Text Amendments**

**Amendment to allow warehouses and distribution centers in the I-R, Industrial District, Restricted, and other unrelated staff-suggested amendments.**

**2023 Planning Department Annual Report**

**June 13, 2024 Comprehensive Plan Visioning Session**

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A meeting of the Oshtemo Charter Township Planning Commission was held Thursday, May 9, 2024, commencing at approximately 6:00 p.m. at the Oshtemo Township Hall, 7275 West Main Street.

MEMBERS PRESENT:      Deb Everett, Vice Chair  
                                    Alistair Smith  
                                    Zak Ford, Township Board Liaison  
                                    Jeremiah Smith  
                                    Scott Makohn

MEMBERS ABSENT:      Philip Doorlag, Chair  
                                    Scot Jefferies

Also present were Jodi Stefforia, Planning Director; Leeanna Harris, Zoning Administrator; James Porter, Township Attorney; Jennifer Wood Recording Secretary; and 4 interested persons.

**Call to Order and Pledge of Allegiance**

Vice Chair Everett called the meeting to order at approximately 6:00 p.m. Those in attendance joined in reciting the Pledge of Allegiance.

**Approval of Agenda**

Vice Chair Everett asked if there were any changes to the agenda. Hearing none, she let the agenda stand as published.

**PUBLIC COMMENT ON NON-AGENDA ITEMS**

The Vice Chair asked if anyone present wished to speak on non-agenda items. Since no one responded, she moved to the next agenda item.

## **Approval of the Minutes of the Meeting of March 28, 2024**

Vice Chair Everett asked for additions, deletions, or corrections to the Minutes of the Meeting March 28, 2024.

Hearing none, Vice Chair Everett asked for a motion.

Mr. Smith **made a motion** to approve the Minutes of the Meeting of Meeting of March 28, 2024, as presented. Mr. Makohn **seconded the motion**. The **motion was approved** unanimously.

## **TEXT AMENDMENTS**

Ms. Stefforia presented her memo dated May 9, 2024 which is incorporated herein by reference. She informed the Commission that an applicant has requested the I-R, Industrial District, Restricted district be amended to allow warehouses and distribution centers. A supporting narrative was prepared by the applicant speaking to the need for such industrial space and is included in the meeting packet.

Another suggested amendment is to address off street parking including the front yard and side yard. This was staff initiated based on comments and complaints from residents. She added that this is a big change so should be discussed.

Ms. Stefforia stated that the I-R was originally written in the 1980's and the needs have changed. It may be time to revisit the I-R and the whole district may need some reconsideration. This will be looked at after the master plan has been completed. A planning consultant will look at the vision for the South 9<sup>th</sup> Street area moving forward.

Ms. Everett asked how this fits with the future land use plan.

Ms. Stefforia explained right now the future land use plan supports the I-R, but the language of the master plan for that area needs modernization. A team is doing an economic development strategy as part of the master plan process, and they are meeting with individuals like the applicant one on one to get input of the market. The last opportunity to meet with the marketing consultant is next Friday.

Staff had recommended to the applicant that he apply for a text amendment if they wanted to move this forward faster than the master plan process will take. The applicant is interested in a specific site, but today's discussion is about the change to the ordinance because if adopted, it applies throughout the I-R.

Ms. Stefforia invited the applicant to speak about his application.

Mr. Jim Rodbard, representing Clark Logic, LLC, stepped up to the podium and spoke in support of the text amendment. Clark Logic is a logistics and warehouse business that operates across Southwest MI and Indiana with their headquarters located in Portage, MI. Included in the



meeting packet is supporting documentation for the text amendment. The applicant seeks to amend and expand the definition of permitted uses in Article 26 of the Zoning Ordinance, 26.30 to add as a new subsection O, “Warehouses and Distribution Centers” as permitted uses. Images of facilities that Clark Logic owns and operates were provided in the meeting packet.

Derek Wissner, from Calendar Commercial, spoke to the commission. Calendar Commercial provided current local industrial construction information in the meeting packet. There are currently 8 properties with 1,862,467 square feet under construction with 98.5% of them preleased. There is a market demand in the community for these types of projects.

Mr. Wissner thanked the commission for their consideration.

Ms. Jill Bland from Southwest Michigan First, an Oshtemo Township resident, addressed the commission. A letter of support was provided in the meeting packet. Ms. Bland informed the commission that distribution warehousing is a complement to the existing uses that occur in this particular zone. Ms. Bland shared that in the community, many manufactures have shifted their logistics and warehousing to off-site nearby locations.

Ms. Stefforia explained that the 9<sup>th</sup> street corridor is well positioned with proximity to the interstate. Ms. Stefforia mentioned that what Ms. Bland described, manufacturers moving their product to off-site locations for warehousing, is different than a distribution center for warehousing for a business like Amazon. This is why an amendment for clarity is needed.

Ms. Stefforia advised today was a discussion about the changes prior to them being shared at a public hearing. If recommended, the items would be consolidated into one ordinance for introduction to the township board if recommended.

Ms. Everett inquired if the Commission was ready to move forward to the other proposed text amendments and if there were any questions or comments.

Mr. Smith inquired about the parking amendments proposed to Section 52.136 and how many complaints were received over a given period of time and also where those complaints originated from.

Mr. Porter stated that over the last several years there have been a lot of complaints. He is not sure of the locations, but believes they are in the denser neighborhoods.

Ms. Stefforia inquired about adding the Ag and Rural Residential districts or limiting this prohibition in the side and rear yards to the R-1 through R-4 districts.

Mr. Porter responded R-1 through R-4 is probably good.

The Commission inquired if the complaints were for cars or boats and if so, could a size limitation could be added, for example, over 20 feet. The proposed language seems too broad.

Mr. Porter stated the complaints are for boats and rvs. He stated that the Ag and Rural Residential districts could be removed. The main concern is rvs.

Mr. Ford asked about red lined 52.135, “prohibited in the required side and rear yard setback areas”. Is it ok as long as not in the required setback areas?

Mr. Porter mentioned that it could be more restrictive than just the setback area.

Ms. Stefforia stated that is the correct interpretation of the reading. The word ‘required’ was removed from the previous page at 52.130. It was an oversight that it was not removed here.

Ms. Stefforia commented she is aware of some communities that allow seasonal parking in the front or side yard as long as they meet the setback requirement. Ms. Stefforia will investigate and provide the commission with additional information. The Commission agreed that more information would be appreciated. Ms. Stefforia will also provide a definition of a warehouse and distribution center for the public hearing. Any part of it can be pulled out prior to sending to the township board.

Ms. Everett inquired if there were any other questions or comments about the remaining proposed text amendments.

Ms. Everett asked about moving the entire packet forward for a public hearing and if there were any objection.

Mr. Ford **made a motion** to set the public hearing for the proposed ordinance amendments for June 27, 2024. Ms. Everett **seconded the motion**.

Mr. Allistar asked if this is for the whole package. Ms. Everett replied yes, but we can remove any parts of it. Ms. Stefforia advised she will gather the information requested and will also try to identify which zoning district the complaints are coming from.

The **motion was approved** unanimously.

## **2023 PLANNING DEPARTMENT ANNUAL REPORT**

Ms. Stefforia acknowledged Ms. Harris for her work on the document.

Mr. Allistar **made a motion** to accept the Planning Commission Annual Report for 2023 as submitted. Mr. Ford **seconded the motion**. The **motion was approved** unanimously.

## **OTHER BUSINESS**

Ms. Stefforia spoke about the upcoming June 13<sup>th</sup> Comprehensive Plan Visioning Session. It will be in lieu of the Planning Commission meeting. This will be open to the public to view the vision boards and provide input.

Ms. Stefforia provided an update on the master plan timeline. The target end date is still the mid to end of 2025.

Meeting adjourned at 6:43 p.m.

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May 16, 2024

**Mtg Date:** May 23, 2024

**To:** Oshtemo Township Planning Commission

**From:** Leeanna Harris, Zoning Administrator

**Applicant:** Joshua Bakker, Civitas Classical Academy

**Owner:** Immanuel Fellowship Church

**Property:** 6015 W H Avenue, Parcel Number 05-11-230-031

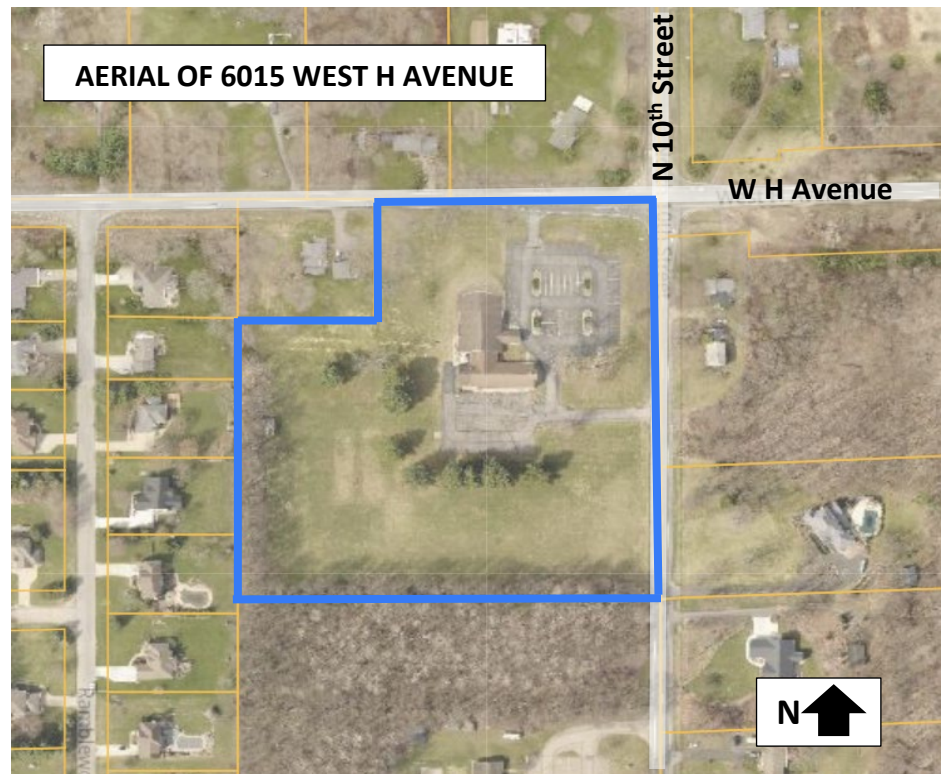
**Zoning:** R-2: Residence District

**Request:** Special Use approval for a Private K-6 School

**Section(s):** Section 65: Special Uses

**PROPOSAL:**

Joshua Bakker, on behalf of Civitas Classical Academy, is requesting special use approval to establish a private K-6 school within the existing principal building located at 6015 W H Avenue. Two existing rooms within the subject building will serve as classrooms for students enrolled in the K-6 program. The project area under consideration is outlined in light blue on the map to the right.



**OVERVIEW:**

6015 W H Avenue is located along the south side of W H Avenue and west side of N 10<sup>th</sup> Street. The K-6 private school is proposed to be located within two classrooms located in the basement level of the existing building on-site. Classroom sizes range anywhere from 205 square feet to 480 square feet. Approximately 25 children, between the grades of kindergarten through sixth grade are being proposed, as well as two teachers, and one administrator. The applicant has also indicated that no buses will be circulating throughout the site as all children will be

dropped off and picked-up by their respective parent or guardian. The school’s hours and dates are proposed to be Monday through Friday from August through June from 8:00 am through 3:00 pm. Drop offs and pick-ups are proposed to be thirty minutes before and after the beginning and end of school, 7:30 am and 3:30 am, respectively.

ANALYSIS:

The portion of the subject property where the proposed private K-6 school will be located is zoned R-2: Residence District. Uses permitted in the R-2: Residence District are outlined in Article 7 of the Township’s Zoning Ordinance. Public and private schools, in which a private K-6 school would align with, are identified as a special exception use within said code section. When reviewing a special exception use, the general special use review criteria outlined in Section 65.30 shall be followed. Below is an analysis of the proposal against Section 65.30 of the Township’s Zoning Ordinance.

Section 65.30: Special Use Review Criteria

**A. Master Plan/Zoning Ordinance: The proposed use will be consistent with the purpose and intent of the Master Plan and Zoning Ordinance, including the District in which the use is located.**

Oshtemo’s adopted Future Land Use Plan illustrates that the property in question is located within the *Low Density Residential* designation. Properties with a *Low Density Residential* designation represent low density residential development, which is the majority of the neighborhoods in the Township. The subject property is classified as R-2: Residence District, within which public and private schools are permissible with special exception use approval from the Planning Commission. The proposed use meets the intent of the Township’s Master Plan documents for this area and complies with the Township’s Zoning Ordinance.

**B. Site Plan Review: The Site Plan Review Criteria of Section 64.80**

An engineered site plan is not required for a request of this nature as no changes will be made in relation to the site’s exterior. However, a plan showing the approximate general layout of the site such as the building placement, parking, circulation within the site, etc. has been provided by the applicant and is included in the attachments.

Immanuel Fellowship Church possesses approximately 175 parking spaces on-site. Private schools require one parking space for each employee plus one parking space for each five children. A total of 3 staff members are proposed as well as up to 25 students. For this proposed special use, a total of 8 parking spaces are required per ordinance. After counting the number of parking spaces necessary to accommodate the proposed private school use, there would still be roughly 167 parking spaces available throughout the site. The proposed private school will operate during the weekdays Monday through Friday from 7:30 am through 3:30 pm and will not interfere with the existing church use on-site.

**As a condition of approval, all circulation aisles, fire lanes, and emergency vehicle turning areas on-site shall be maintained and directional striping and signage be provided to the site.** The overall site layout is not changing. The minimum building setbacks have been met. Existing entrances on the site will not change and will continue to be used in a similar fashion.

**C. Impacts:**

- 1. The proposed use would be compatible, harmonious, and appropriate with the existing or planned character and uses of adjacent properties; meaning the proposed use can coexist**

**with neighboring uses in a stable fashion over time such that no neighboring use is unduly negatively impacted.**

The proposed school, a special exception use within the R-2: Residence District, would occupy two rooms as classrooms within the already established church building on-site. Various uses surround the site, including other houses of worship, low density residential, and medium density residential. A K-6 school would be harmonious with the other existing uses on and surrounding the site as an institutional use has already been established on the subject property. With the proposed school being compatible with the allowable uses within this zoning district, no exterior site changes proposed, and being in accordance with both the Master Plan and the Zoning Ordinance, staff has no concerns that the proposed use will negatively affect neighboring uses.

**2. Potentially adverse effects arising from the proposed use on adjacent properties would be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the location of screening, fencing, landscaping, buffers or setbacks.**

Staff does not foresee a significant impact of the proposed use on neighboring properties. The private school is proposed to be located within an existing building on-site – a church. The overall site layout is not changing as the applicant is not proposing any additions to the existing building, besides the required designated outdoor play area. The applicant shall provide a designated outdoor play area consistent with the Michigan Administrative Code R 400.8170 and State of Michigan (Department of Licensing and Regulatory Affairs). As such, this will be added as a condition of approval. All other requirements pertaining to setbacks, access, placement of buildings, etc. have been satisfied.

**3. The proposed use would not be detrimental, hazardous, or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, smoke, odors, glare, or visual clutter.**

All activities associated with the proposed special use will be indoors in the existing building, besides the required designated outdoor play area. The applicant shall provide a designated outdoor play area consistent with the Michigan Administrative Code R 400.8170 and State of Michigan (Department of Licensing and Regulatory Affairs). Noise levels are not expected to exceed what is commonly found for an area with a variety of low intensity residential uses in proximity to each other. The amount of traffic throughout the site during the weekdays will be substantially less than what the site is already accustomed to on the weekends for Sunday service. Staff do not foresee any negative impacts occurring from this use.

**D. Environment: The natural features of the subject property shall only be cleared or altered to the extent necessary to accommodate site design elements, particularly where the natural features assist in preserving the general character of the area.**

The proposed school will be occupying two existing rooms within the principal building on-site. No interior alterations are proposed. The impervious surfaces on-site are existing, and no additional impervious surfaces are proposed. This criterion is not applicable.

**E. Public Facilities: Adequate public and/or private infrastructure and services already exist or would be provided, and will safeguard the health, safety, and general welfare of the public.**

The principal building located at 6015 W H Avenue is presently serviced by public water and sewer. The Township’s Non-Motorized Transportation Plan does identify a 6’ wide non-motorized path adjacent to the subject site along the east side of S 11<sup>th</sup> Street; however, per Section 57.90 of the Zoning Ordinance, the property is exempt from constructing such non-motorized facility since the proposal is only a minor modification to the use of the property and nothing is changing to the interior of the building nor the site’s exterior. This section does not apply.

**F. Specific Use Requirements: The Special Use development requirements of Article 49.**

No specific use requirements exist for schools and similar uses. Therefore, this section is not applicable.

**RECOMMENDATION:**

Planning Department staff recommend the approval of the proposed special exception use for the K-6 school at 6015 W H Avenue with the following conditions.

- 1) The school will serve up to 25 children.
- 2) Hours of operation will be 8:00 am through 3:00 pm, with drop offs and pick ups thirty minutes before and after, Monday through Friday.
- 3) All existing circulation aisles, fire lanes, and emergency vehicle turning areas on-site shall be maintained at all times and directional striping and directional signage be provided to the site.
- 4) The applicant shall provide a designated outdoor play area consistent with the Michigan Administrative Code R 400.8170 and State of Michigan (Department of Licensing and Regulatory Affairs).
- 5) Documentation from the State of Michigan (Department of Licensing and Regulatory Affairs) approving the proposed private school shall be provided to the Township.
- 6) A sign permit application shall be submitted to the Township for review and approval if the applicant wishes to add any type of signage to the site.

Attachments: Application  
Letter of Intent  
Site Plan & Floor Plan  
Pick up/Drop off Plans  
South Elevation Photo





7275 W. Main Street, Kalamazoo, Michigan 49009-9334  
 Phone: 269-375-4260 Fax: 269-375-7180

**PLEASE PRINT**

PROJECT NAME & ADDRESS Immanuel Fellowship Church 6015 W H Ave Kalamazoo, MI 49009

**PLANNING & ZONING APPLICATION**

Applicant Name: Joshua Bakker

Company: Civitas Classical Academy

Address: 1713 Suffolk Ave  
Portage, MI 49024

E-mail: jbakker119@gmail.com

Telephone: 616-288-8712 Fax: \_\_\_\_\_

Interest in Property: School Board Member

**OWNER\*:**

Name: Immanuel Fellowship Church

Address: 6015 W H Ave  
Kalamazoo, MI 49009

E-mail: \_\_\_\_\_

Phone & Fax: \_\_\_\_\_

THIS  
SPACE  
FOR  
TOWNSHIP  
USE  
ONLY

Fee Amount \_\_\_\_\_

Escrow Amount \_\_\_\_\_

**NATURE OF THE REQUEST: (Please check the appropriate item(s))**

- |  |   |
|--|---|
| <input type="checkbox"/> Pre-Application Review                  | <input type="checkbox"/> Accessory Building Review – I083 |
| <input type="checkbox"/> Site Plan Review – I088                 | <input type="checkbox"/> Rezoning – I091                  |
| <input type="checkbox"/> Administrative Site Plan Review – I086  | <input type="checkbox"/> Subdivision Plat Review – I089   |
| <input checked="" type="checkbox"/> Special Exception Use – I085 | <input type="checkbox"/> Interpretation – I082            |
| <input type="checkbox"/> Zoning Variance – I092                  | <input type="checkbox"/> Other: _____                     |
| <input type="checkbox"/> Site Condominium – I084                 |   |

**BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary):** We are requesting a special exception

use for the use of Immanuel Fellowship Church for Civitas Classical Academy, a new private K-6 school. It is currently zoned R2 with special  
exception use for private schools.

**LEGAL DESCRIPTION OF PROPERTY** (Use Attachments if Necessary):  
SEC 11-2-12 N 660 FT E1/2 E1/2 NE1/4 EXC W 219.45 FT OF N 198 FT

**PARCEL NUMBER:** 3905- 05-11-230-031

**ADDRESS OF PROPERTY:** 6015 W H Ave, Kalamazoo, MI 49009

**PRESENT USE OF THE PROPERTY:** Church

**PRESENT ZONING:** R2 **SIZE OF PROPERTY:** 9.18 Acres

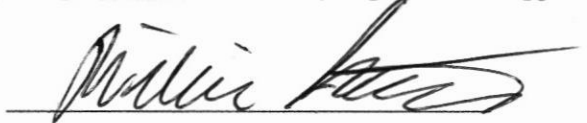
**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING  
A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

**Name(s)**

**Address(es)**

**SIGNATURES**

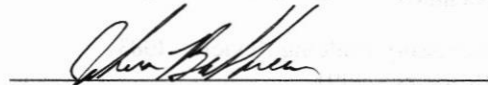
*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.*



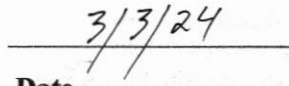
**Owner's Signature** (\*If different from Applicant)



**Date**



**Applicant's Signature**



**Date**

Copies to:  
Planning - 1  
Applicant - 1  
Clerk - 1  
Deputy Clerk - 1  
Attorney - 1  
Assessor - 1  
Planning Secretary - Original

\*\*\*\*

**PLEASE ATTACH ALL REQUIRED DOCUMENTS**

Joshua Bakker  
Civitas Classical Academy  
1713 Suffolk Ave  
Portage, MI 49024

March 3, 2024

Oshtemo Charter Township  
7275 W Main St  
Kalamazoo, MI 49009-9334

Dear Oshtemo Charter Township,

I am writing to express our intent to utilize the facilities of Immanuel Fellowship Church for Civitas Classical Academy, a full-time K-6 private school, during the academic year from August through June. Our proposal entails initially utilizing two classrooms within the premises to accommodate approximately 25 students, along with two teachers and one administrator.

Civitas Classical Academy is committed to providing high-quality education that emphasizes a Christian and classical liberal arts model. We believe that our partnership with Immanuel Fellowship Church will not only benefit the church and our students but also contribute positively to the community.

We understand the importance of being good stewards of the facilities and will ensure that all terms of use and regulations set forth by the township are adhered to. Our team is dedicated to maintaining the cleanliness, safety, and security of the premises throughout our occupancy.

We believe that this collaboration aligns with the values and mission of both Civitas Classical Academy and Immanuel Fellowship Church, and we are enthusiastic about the opportunity to work together to provide an exceptional educational experience for the children in our community.

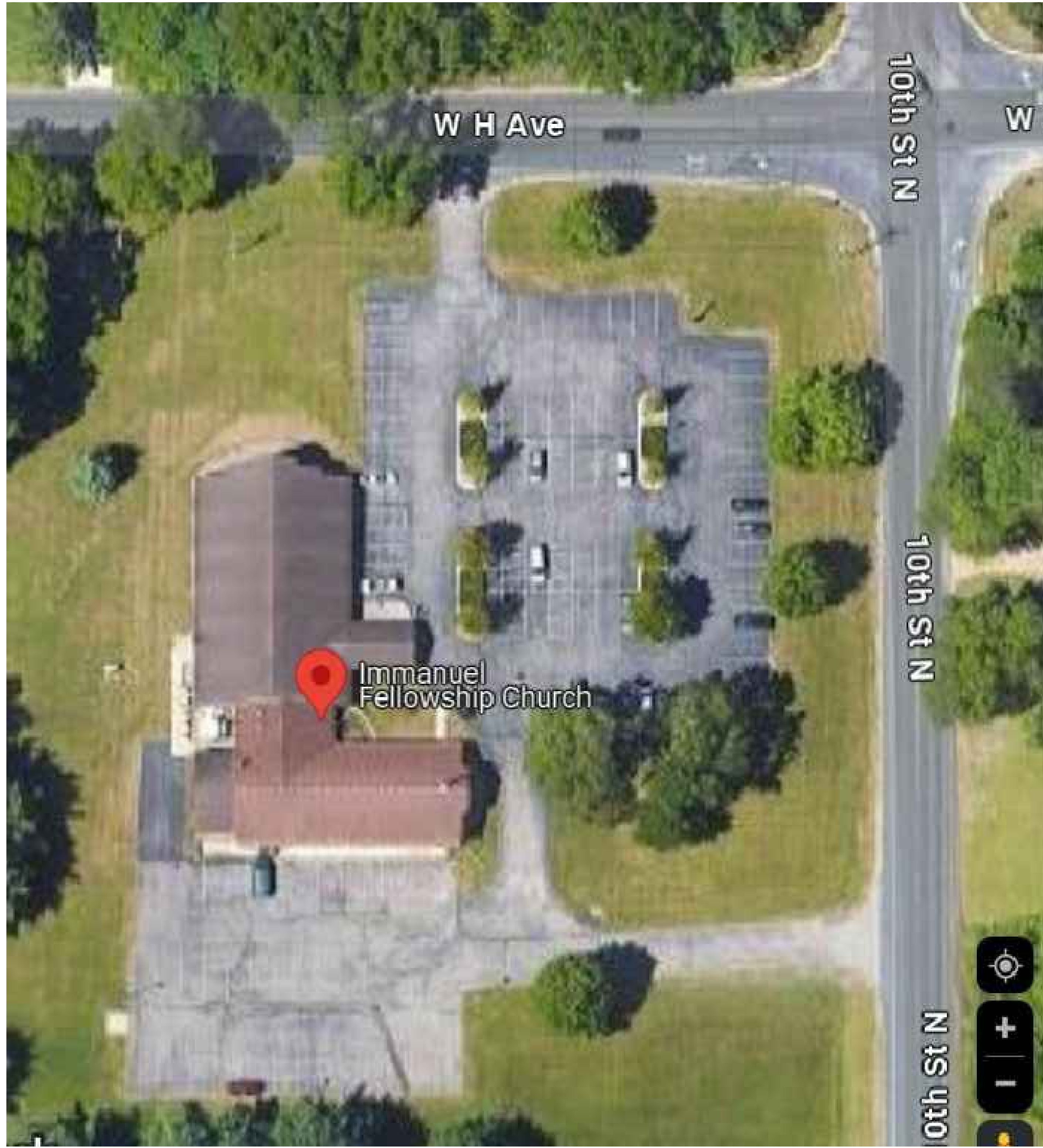
We are open to discussing any further details or requirements that the township may have regarding our proposal. Thank you for considering our request, and we look forward to the possibility of partnering with Oshtemo Township and Immanuel Fellowship Church.

Sincerely,



Joshua Bakker  
Civitas Classical Academy

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C-5 EXISTING SITE  
A101 SCALE: 1"=30'-0"

REVIEW

OWNER SIGNOFF

SCHOOL AT IMMANUEL FELLOWSHIP CHURCH  
6015 WEST H AVE.  
KALAMAZOO, MI 49009

**RMD**  
ARCHITECTS

616 677 5997 OFFICE  
616 613 2452 MOBILE  
RMD@RMDArchitects.net  
1744 MARNE ESTATES DR.  
TALLMADGE TOWNSHIP, MI 49435

ISSUED FOR:  
REVIEW

DATE:  
10/01/20

SEAL

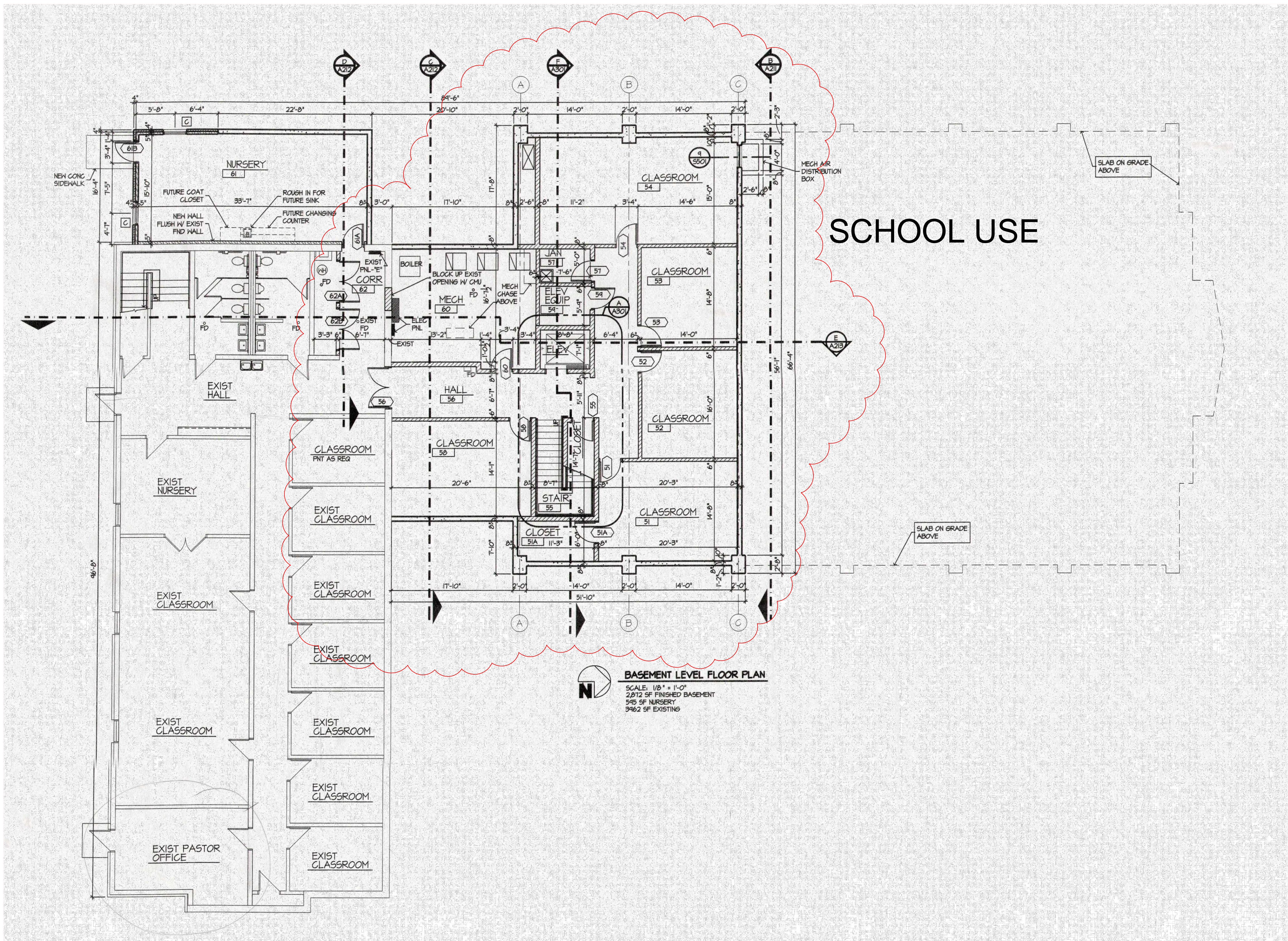
ROBERT MARVIN  
DOORNBOS  
ARCHITECT  
No.  
1301032686

PROJECT NUMBER  
PROJECT #

SHEET NUMBER  
A-100

SHEET NAME  
SITE PLAN





**BASEMENT LEVEL FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 2,812 SF FINISHED BASEMENT  
 595 SF NURSERY  
 346.2 SF EXISTING

REVIEW

OWNER SIGNOFF

**SCHOOL AT IMMANUEL FELLOWSHIP CHURCH**  
**6015 WEST H AVE.**  
**KALAMAZOO, MI 49009**



616 677 5997 OFFICE  
 616 813 2452 MOBILE  
 RMD@RMDArchitects.net  
 1744 MARNE ESTATES DR.  
 TALLMADGE TOWNSHIP, MI 49435

ISSUED FOR:  
 REVIEW

DATE:  
 10/01/20

SEAL



*Robert Marvin Doornbos*

PROJECT NUMBER  
**PROJECT #**

SHEET NUMBER  
**A-101**

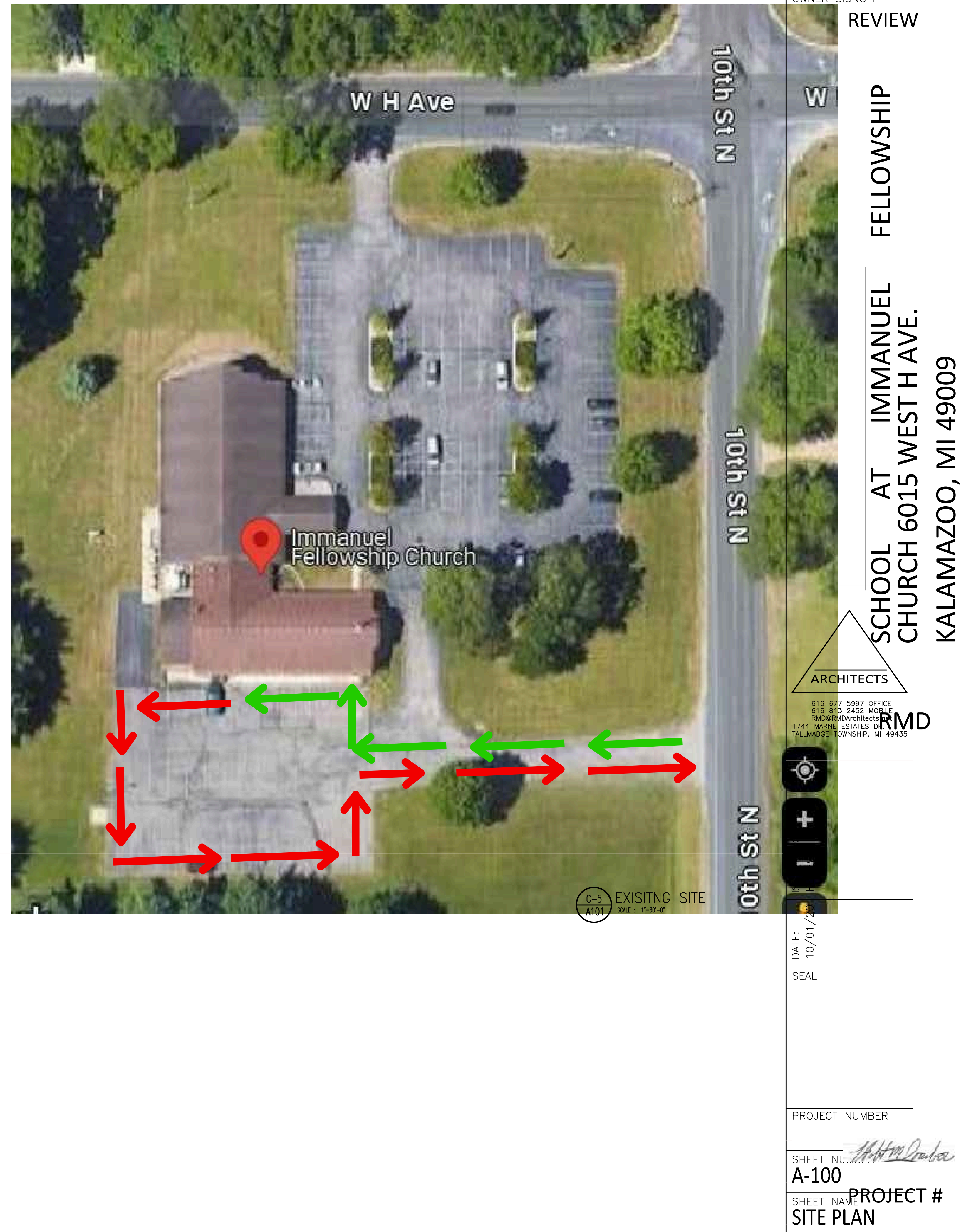
SHEET NAME  
**FLOOR PLAN**







- Drop off area is located in south parking lot.
- Green arrows represent entry pathway for parents to drop off students.
- Red arrows represent the pathway for parents to exit after dropping off or picking up students.
- The school entry/exit will be located off of 10th St.









May 14, 2024



**Mtg Date:** May 23, 2024

**To:** Oshtemo Township Planning Commission

**From:** Colten Hutson, Zoning Administrator

**Applicant:** Laura Billings, AUS Enterprise LLC

**Owner:** Ninth Street Development Company LLC

**Property:** 6476 Valley Industrial Drive, Parcel Number 05-35-255-066

**Zoning:** I-1: Industrial District

**Request:** Site plan and special use approval to construct one 5,792 square foot veterinary animal hospital.

**Section(s):** Section 64: Site Plan Review  
Section 65: Special Uses  
Section 27: I-1: Industrial District

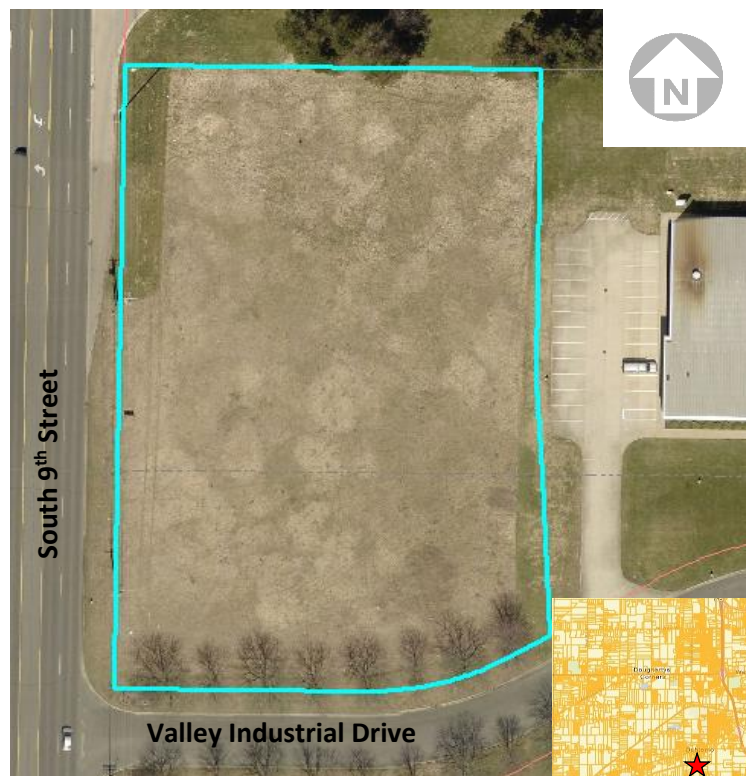
**PROJECT SUMMARY:**

The applicant, Laura Billings, is requesting site plan and special exception use approval to construct a new 5,792 square foot, veterinary animal hospital at 6476 Valley Industrial Drive. The approximate 2.3-acre site remains vacant in its current state. The parcel under consideration is outlined in light blue on the map to the right.

The subject project site falls within the I-1: Industrial District zoning designation. Small veterinary animal hospitals are considered a special exception use within the I-1: Industrial District. Any proposed special exception use is subject to review and approval from the Oshtemo Township Planning Commission.

**ANALYSIS:**

When reviewing this site plan and special use request, there are two sets of criteria that need to be considered: the general special use review



criteria outlined in Section 65.30, and the general site plan review criteria outlined in Section 64. Below is an analysis of the proposal against said code sections. Overall, most of the requirements of Section 64 and Section 65.30 have been met.

### Section 64: Site Plan Review

#### General Zoning Compliance:

**Zoning:** Currently zoned I-1: Industrial District, 6476 Valley Industrial Drive is located in the northeast corner of S 9<sup>th</sup> Street and Valley Industrial Drive, between Atlantic Avenue and Technology Avenue. The subject site abuts warehouse, light manufacturing, and office uses to the north and east, a funeral home to the west, and an unimproved parcel to the south. I-1: Industrial District zoning is situated south and east of the site while I-R: Industrial District and VC: Village Commercial District zoning is situated to the north and west. The percentage of land on-site proposed to be covered by buildings is 5.8%. The proposed percentage of land reserved for open space is 73.7%. All general zoning requirements have been met. A snapshot of the proposed site plan is provided to the right.



#### Access and Circulation

**Access:** Access is currently proposed on the south side of the site adjacent to Valley Industrial Drive. Although a driveway permit from the Road Commission of Kalamazoo County has been granted, staff has been in communication with the applicant and informed them of the Township’s desire for shared access with the neighboring property to the east. The Township’s access management plan emphasizes the importance for shared driveways, and especially with the anticipation of Valley Industrial Drive to be extended to vacant industrial property to the east, shared access here would be the best outcome. Extending Valley Industrial Drive to the east would result in an increase in use and capacity at the S 9<sup>th</sup> Street and Valley Industrial Drive intersection. Given the addition of the proposed driveway is a rather short segment and in proximity to the S 9<sup>th</sup> Street intersection, and given that the proposed driveway does not necessarily follow the Township’s access management principals, staff encourages the applicant consider shared access with the neighboring parcel to the immediate east. All circulation aisles within the proposed development are a minimum of 24’ in width, which is the minimum width required under Section 52.50 of the zoning ordinance for two-way travel. A hammerhead turnaround is proposed on the north end of the parking lot and provides safe turning radii. Fire engines and other vehicles have ample space and circulation if emergency response is ever required.

**Parking:** A total of 30 parking spaces are currently proposed to be located for the veterinary animal hospital site, two of which are ADA accessible. The ADA parking spaces and accessible aisle are proposed to be made of concrete. All standard parking stalls on-site are proposed to be 10' x 20'. Veterinary clinic uses are required to provide one parking space for every 150 square feet of net floor area. After calculating the parking needed for the proposed use on-site based on the provided net floor area of 4,286 square feet, a total of 29 parking spaces are required. All parking requirements for the proposed veterinary animal hospital use have been satisfied.

**Easements:** There are existing easements located on the subject site such as Consumers Power Company, etc. A 15' x 20' easement is proposed in the northwest corner of the site to accommodate the 6' wide non-motorized facility. All easement requirements are met.

**Non-motorized:**

The Township's Non-Motorized Transportation Plan identifies a 6' wide non-motorized facility adjacent to the subject site on the east side of S 9<sup>th</sup> Street. A 6' wide concrete sidewalk is proposed on the site plan in said location. An internal sidewalk network is also proposed to provide a connection from the sidewalk abutting S 9<sup>th</sup> Street to the main building entrance. Given that there is a deceleration lane leading to the neighboring United States Postal Service warehouse to the immediate north, the sidewalk adjacent to S 9<sup>th</sup> Street will be required to meander outside of the public right-of-way in the northwest corner of the site. Since a portion of the sidewalk will be on private property, a sidewalk easement will be necessary and said facility shall be dedicated to Oshtemo Township. The sidewalk easement will be required to be recorded at the Kalamazoo County Register of Deeds Office prior to occupancy.

**Building Design**

**Building Information:** The proposed 5,792 square foot, one-story animal hospital building will be positioned at the west end of the property. The building will also include a mezzanine area of 750 square feet. The height of the building will be approximately 24'9" tall and has a finished floor elevation of 964.50. The exterior materials for the proposed building as presented in the site plan will include architectural features of masonry veneer and vertical board and batten siding. An image capturing the north, south, east, and west elevations of the proposed building is provided to the right.



**Lot Dimensions:** The site under consideration is about 2.3 acres in size and has approximately 670' of road frontage in total adjacent to S 9<sup>th</sup> Street and Valley Industrial Drive. The parcel exceeds the minimum property area (50,000 square foot minimum) and minimum frontage (200'

minimum) requirements for unplatted parcels within the I-1: Industrial District zoning classification.

*Setbacks:* Per Section 50.60.C of the zoning ordinance, properties located within Industrial zoning districts are required to have a minimum front yard setback of 70'. The subject property possesses two front yards, one along S 9<sup>th</sup> Street, and the other along Valley Industrial Drive. The building is setback roughly 125' from the front property line along S 9<sup>th</sup> Street and about 145' from the front property line on Valley Industrial Drive. Properties zoned as Commercial are also subject to have a minimum side and rear yard setback of 20' or equal to the height of the abutting side of the building at its highest point as measured from the grade of the property line, whichever is greater. The applicant proposes a side and rear yard setback of 28', which accommodates the height of the building. The minimum setbacks for the front yard, side yard, and rear yard are satisfactory.

*Fencing:* No changes to on-site fencing is proposed. Therefore, this portion of the review is not applicable.

*Lighting:* A total of four pole mounted lights are proposed to be added throughout the parking lot area. Each pole mounted light is proposed to be 20' in height and will not exceed 15,957 lumens, which satisfies code requirements. The applicant is proposing for said lighting to be cut-off fixtures. Soffit lights are proposed beneath the overhang on the building. All foot candles shown at the property line meet code requirements. The proposed lighting plan is satisfactory.

*Signs:* Any signage planned to be added to the site will be required to follow Oshtemo's sign permit application process and shall be submitted separately to the Township for review and approval.

### **Landscaping**

The plan set provides a unique design for landscaping. Landscaping interior to the site as well as greenbelt landscaping are proposed. Many of the maples that exist along the site's Valley Industrial Drive frontage are planned to be preserved. All necessary landscaping such as canopy trees, understory trees, and shrubs are provided in the site plan as all landscaping requirements have been satisfied.

### **Engineering**

Wightman and the Oshtemo Public Works Department have reviewed the project site plan and have noted that most of the on-site engineering concerns have been addressed; however, there are still a few concerns with respects to grading, stormwater, and a few other minor details. Staff is confident that these items can be addressed through administrative review and approval by the Township.

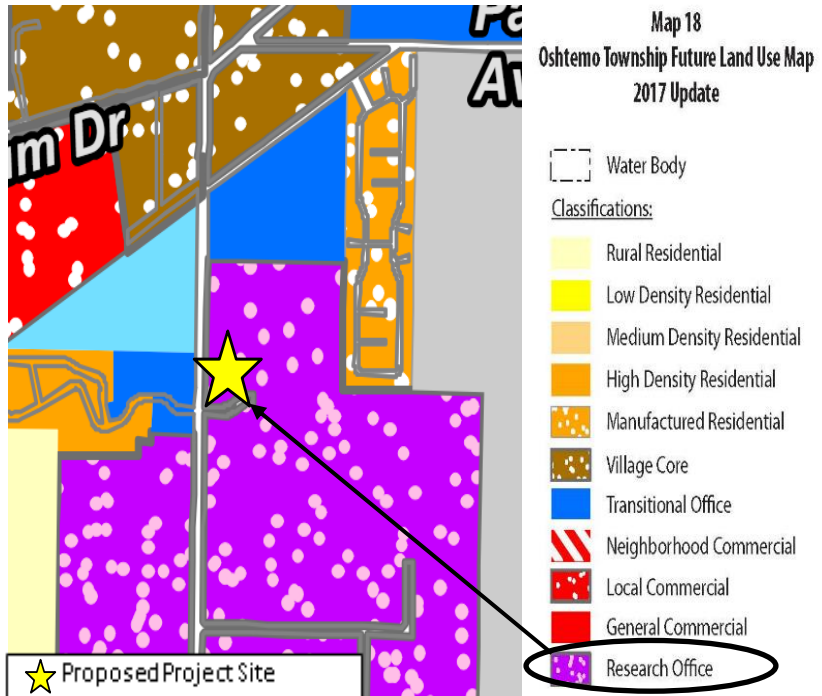
### **Fire Department**

Oshtemo's Fire Marshal has reviewed the proposed layout and has no concerns in terms of access and circulation and is satisfied with the overall design of the site.

Section 65.30: Special Use Review Criteria

**A. Master Plan/Zoning Ordinance: The proposed use will be consistent with the purpose and intent of the Master Plan and Zoning Ordinance, including the District in which the use is located.**

The Township’s Future Land Use Plan categorizes this area—east of S 9<sup>th</sup> Street, south of Atlantic Avenue, and north of W N Avenue as *Research Office*. This property is currently zoned I-1: Industrial District. Veterinary animal hospitals are permissible with special use approval from the Planning Commission under the I-1: Industrial District. From a zoning perspective, the present land use would be consistent with the Township’s Zoning Ordinance and the surrounding uses along Valley Industrial Drive.



**B. Site Plan Review: The Site Plan Review Criteria of Section 64**

A site plan has been provided. See evaluation under Section 64: Site Plan Review.

**C. Impacts:**

**1. The proposed use would be compatible, harmonious and appropriate with the existing or planned character and uses of adjacent properties; meaning the proposed use can coexist with neighboring uses in a stable fashion over time such that no neighboring use is unduly negatively impacted.**

The proposed use of a small veterinary animal hospital is permitted as a special exception use within the I-1: Industrial District. A veterinary animal hospital is moderately compatible with surrounding light manufacturing and office uses. The subject site is surrounded by industrial uses to the north, east and south. Situated west of the site is a commercial funeral home user. As the proposed use can coexist with the neighboring uses, and with said use being in accordance with the Zoning Ordinance, staff has no concerns that the proposed use will negatively affect neighboring uses.

**2. Potentially adverse effects arising from the proposed use on adjacent properties would be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the location of screening, fencing, landscaping, buffers or setbacks.**

Staff does not foresee a significant impact of the proposed use on neighboring properties. This is mainly attributed to the fact that the small veterinary animal hospital will be a far less intensive use compared to the neighboring uses to the south, north, and east. The proposed

site plan has sufficient parking and meets the minimum setbacks. Access is proposed along Valley Industrial Drive. Adequate landscaping is proposed and is in accordance with the Township’s Zoning Ordinance.

**3. The proposed use would not be detrimental, hazardous, or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, smoke, odors, glare, or visual clutter.**

The proposed use is not anticipated to be detrimental, hazardous or disturbing to existing or future adjacent uses due to those adjacent uses being predominantly industrial in nature, which is considered to be a more intensive land use than what is proposed for the subject site. The proposed landscaping elements, once fully installed, also appear to mitigate potential noise, and visual clutter from adjacent properties. This finding is further supported given the Township’s 2017 Master Plan, in which the area in question calls for office and health care facility uses. Staff anticipates that the proposed project will not generate such negative impacts on adjacent properties.

**D. Environment: The natural features of the subject property shall only be cleared or altered to the extent necessary to accommodate site design elements, particularly where the natural features assist in preserving the general character of the area.**

The subject site currently remains vacant. The property does not encompass any significant natural features. As such, staff does not find that the proposed site development of a small veterinary animal hospital will have a detrimental impact on the general character of the area.

**E. Public Facilities: Adequate public and/or private infrastructure and services already exist or would be provided, and will safeguard the health, safety, and general welfare of the public.**

The subject site is located in the northeast quadrant of S 9th Street and Valley Industrial Drive. Municipal water and sewer are currently available at 6476 Valley Industrial Drive. The Township’s Non-Motorized Transportation Plan identifies a 6’ wide shared use path adjacent to the subject site on the east side of S 9<sup>th</sup> Street. The applicant is proposing a 6’ wide concrete sidewalk in said location. Adequate public facilities will be provided as a part of the proposed development to promote health, safety, and welfare of the public.

**F. Specific Use Requirements: The Special Use development requirements of Article 49.**

No specific use requirements exist for small veterinary animal hospitals. Therefore, this section does not apply.

**RECOMMENDATION:**

Planning Department staff recommend that the Planning Commission approve the proposed site plan and special use request to allow for the construction of a new 5,792 square foot veterinary animal hospital located at 6476 Valley Industrial Drive with the following conditions.

1. An updated plan set is submitted illustrating ADA accessible and compliant ramps, including receiving ends, in the southeast corner of Valley Industrial Drive and S 9<sup>th</sup> Street prior to building permit issuance.
2. An updated plan set is submitted to show I-1: Industrial District zoning adjacent to the south and east prior to building permit issuance.



3. Finalization of grading details, stormwater, non-motorized, and any other engineering details shall be subject to the administrative review and approval of the Township Engineer prior to building permit issuance.
4. A non-motorized project application for new sidewalk facilities in the public right-of-way shall be submitted and approved by the Road Commission of Kalamazoo County prior to building permit issuance.
5. All non-motorized facilities on the approved site plan shall be installed prior to issuing a certificate of occupancy.
6. Copies of any necessary recorded easements shall be provided to the Township prior to issuing a certificate of occupancy.

Attachments: Application, Site Plan, Photometric Plan, Landscape Plan, Elevation Drawings, and Floor Plan



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7275 W. Main Street, Kalamazoo, Michigan 49009-9334  
Phone: 269-375-4260 Fax: 269-375-7180

**PLEASE PRINT**

PROJECT NAME & ADDRESS Friendship Animal Hospital - 9th St id#

**PLANNING & ZONING APPLICATION**

Applicant Name: Laura Billings, DVM  
Company: AUS Enterprise, LLC  
Address: 6058 S. 12th Street  
E-mail: laurahoholik@gmail.com  
Telephone: 630-432-5402 Fax: n/a  
Interest in Property: purchaser

THIS  
SPACE  
FOR  
TOWNSHIP  
USE  
ONLY

OWNER\*:  
Name: Ninth Street Development Company  
Address: 3920 Magazine Street  
New Orleans, La 70115  
E-mail: mcallander@ccmichigan.com  
Phone & Fax: 269-271-5187

Fee Amount \$2,286.25  
Escrow Amount \$1,000.00

NATURE OF THE REQUEST: (Please check the appropriate item(s))

- |   |   |
|---|---|
| <input type="checkbox"/> Pre-Application Review                 | <input type="checkbox"/> Accessory Building Review – I083 |
| <input type="checkbox"/> Site Plan Review – I088                | <input type="checkbox"/> Rezoning – I091                  |
| <input type="checkbox"/> Administrative Site Plan Review – I086 | <input type="checkbox"/> Subdivision Plat Review – I089   |
| <input type="checkbox"/> Special Exception Use – I085           | <input type="checkbox"/> Interpretation – I082            |
| <input type="checkbox"/> Zoning Variance – I092                 | <input type="checkbox"/> Other: _____                     |
| <input type="checkbox"/> Site Condominium – I084                |   |

**BRIEFLY DESCRIBE YOUR REQUEST** (Use Attachments if Necessary): site plan approval of a new veterinary clinic to be built on property located on 9th street known as parcel #3905-35-255-066

LEGAL DESCRIPTION OF PROPERTY (Use Attachments if Necessary):

See attached

PARCEL NUMBER: 3905- 35-255-066

ADDRESS OF PROPERTY: no address at present

PRESENT USE OF THE PROPERTY: vacant land

PRESENT ZONING: I-1 SIZE OF PROPERTY: see survey

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

Two sets of horizontal lines for entering names and addresses.

**SIGNATURES**

*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.*

*Gordon H. Kello Jr*

02/06/2024

Owner's Signature (\*If different from Applicant)

Date

*Jennifer Mankin*

2/16/2024

Applicant's Signature

Date

- Copies to:
- Planning - 1
- Applicant - 1
- Clerk - 1
- Deputy Clerk - 1
- Attorney - 1
- Assessor - 1
- Planning Secretary - Original

\*\*\*\*

**PLEASE ATTACH ALL REQUIRED DOCUMENTS**



# PROPOSED FRIENDSHIP ANIMAL HOSPITAL

## DR. LAURA BILLINGS, DVM

### 6476 Valley Industrial Drive Kalamazoo, Michigan

#### Site Statistics:

#### Zoning:

Site I-1 - Industrial District  
 Adjacent (N) I-R - Industrial district  
 Adjacent (W) VC - Village Commercial (across 9th St.)  
 Adjacent (S) I-R - Industrial District  
 Adjacent (E) I-R - Industrial District

Special Use - Vet, small animal hospital

Parcel: 05-35-255-066

Areas = 99,890 sq. ft= 2.3 Acres

Building Coverage = 5,042 + 750 sq. ft = 5,792 sq. ft.

Building Height = 24'-8" ft.

Building Construction = Single Story, Type V-B  
 Non-Sprinkled

#### Parking Summary

Required = 1 per 150 sf usable floor area  
 Required = 5790 x 70%/150= 27 Spaces  
 Parking Provided = 30 spaces  
 28 spaces @ 10' x 20'  
 2 ADA spaces @ 10' x 20' w/ 8' aisle

#### Setbacks

Front - 70 ft  
 Sides - 20 ft (28')  
 Rear - 20 ft (28')

#### Utilities

Sanitary - Connected to municipal sewer  
 Water - Connected to municipal water  
 Gas - Consumers Energy  
 Electric - Consumers Energy  
 Telephone - T.B.D.

#### Signs

Free Standing Sign  
 In accordance with zoning code  
 Barrier Free signs per detail

#### Owner:

Ninth Street Deveopment CO.  
 3920 Magazine St.  
 New Orleans, La. 70115

#### Site Address:

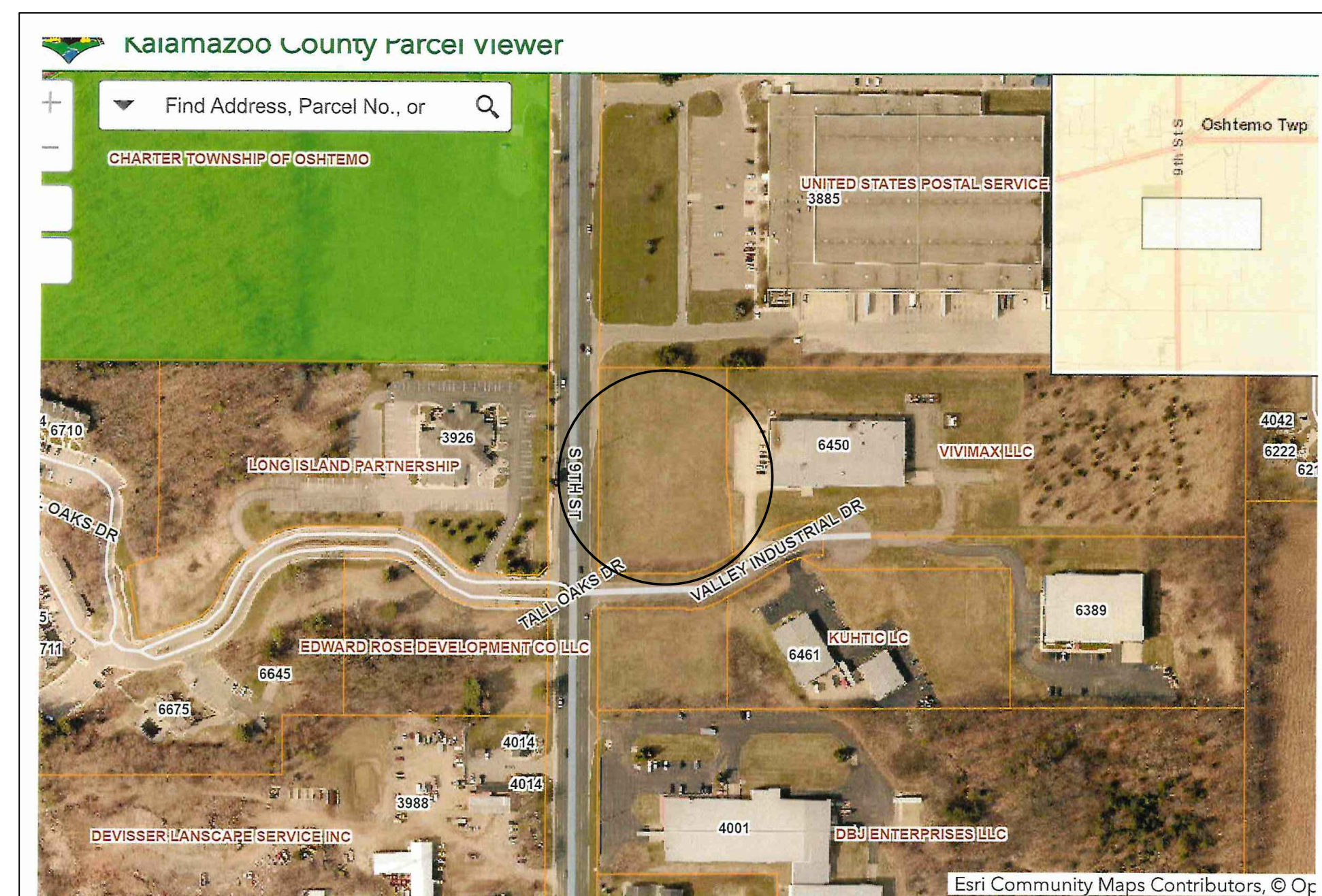
South 9th Street (05-35-255-066)  
 6476 Valley Industrial Drive  
 Kalamazoo, Michigan 49009  
 Kalamazoo County

#### Proposed Use:

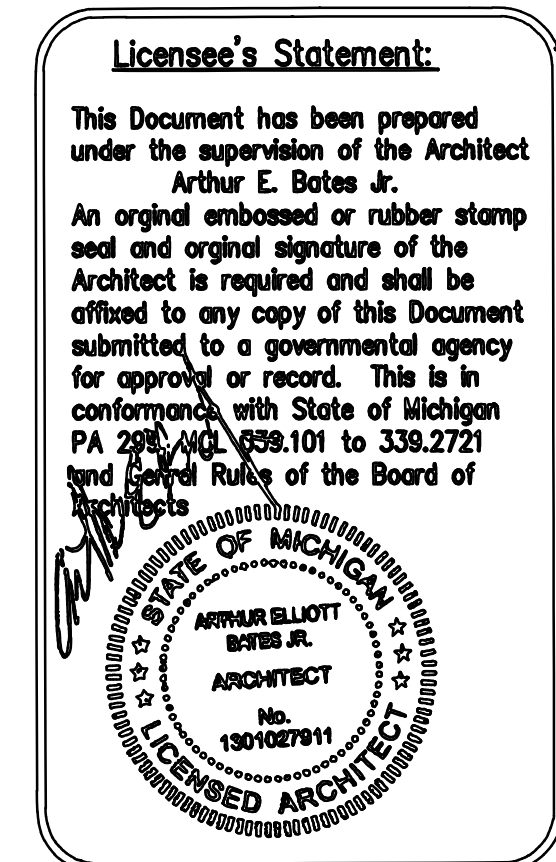
Veterinary Clinic- Small Animal Hospital  
 Freindship Animal Hospital  
 Professional Offices  
 Use Group - B  
 First Floor - 5,040 sq. ft.  
 Mezzanine - 752 sq. ft. (Staff Only).  
 Fully Enclosed, No Outdoor Runs.  
 Number Employees - 8 (Largest shift)  
 Hours of Operation - 9:00 am til 6:00 pm  
 Days of Operation - Monday thru Friday  
 After Hours - Emergencies Only  
 No Animal Boarding - Recovery Only.

#### Property Description: Zoning:

That part of the east 1/2 of Section 35, Town 2 South, Range 12 West, Oshtemo Township, Kalamazoo County, Michigan, described s Commencing at the North 1/4 Post of said Section 35; thence South 00°10'42" East, 2361.77 feet along the North and South 1/4 line of said Section to the point of Beginning; thence North 89°33'28" East, 300.00 feet parallel with the East and West 1/4 line; thence South 00°10'42" East, 200 feet parallel with said North and South 1/4 line; thence South 03°59'12" East, 163.42 feet; thence South 59°33'28" West, 29.03 feet; thence Southwesterly 87.44 feet along the North line of Industrial Drive and the arc of a curve to the right, whose radius is 167.00 feet, and whose cord bears South 74°33'28" West, 86.43 feet; thence South 89°33'28" West, 203.00 feet along said North line to said North and South 1/4 line; thence Northerly 139.75 feet along said 1/4 line to center of said Section; thence North 00°10'42" West, along said 1/4 line to the Point of Beginning. Subject to the Rights of the Public over the Westerly 50' thereof as used for 9th Street.

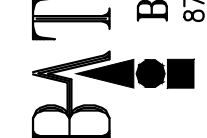


VICINITY MAP

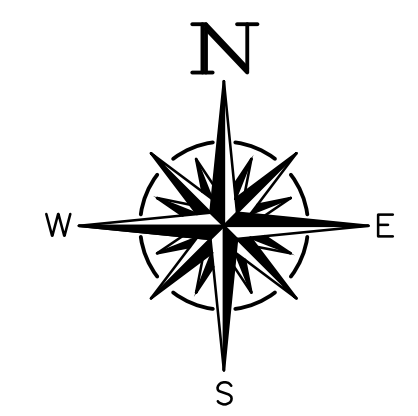


DRAWING INDEX	
GENERAL	
T1	COVER SHEET
SITE	
1	ALTA/NSPS LAND TITLE SURVEY
C1	SITE PLAN
C2	SESC & DEMOLITION PLAN
C3	SITE LAYOUT PLAN
C4	UTILITIES PLAN
C5	GRADING/ STORMWATER PLAN
C6	PHOTOMETRICS PLAN
L1	LANDSCAPE PLAN
L2	LAMONS LANDSCAPE PLAN
A1	EXTERIOR ELEVATIONS
A2	FLOOR PLAN

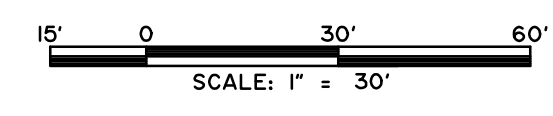
© 2024 DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF SERVICE ARE, AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT AND, WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT THE PROJECT SITE. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

 <b>BATES ARCHITECTS</b> 6793 EASTER WOODS DRIVE, KALAMAZOO, MI. 49009 TELEPHONE: 269/349-3314    info@bates-arch.com
COVER SHEET
PROPOSED FRIENDSHIP ANIMAL HOSPITAL DR. LAURA BILLINGS, DVM 6476 VALLEY INDUSTRIAL DRIVE KALAMAZOO, MICHIGAN
REVISIONS REISED 04/26/24 - ROOF HEIGHT
02/02/24 <span style="font-size: 2em; font-weight: bold;">T1</span> 2406





**SURVEY LEGEND**  
 ■ = FOUND CONCRETE MONUMENT  
 ○ = SET 1/2" CIR #4-3067  
 M = MEASURED DISTANCE  
 R = RECORD DISTANCE



**LEGEND**

- |      |                            |     |                            |
|------|----------------------------|-----|----------------------------|
| (MH) | MISC. MANHOLE              | (S) | SHRUB/BUSH                 |
| (D)  | STORM SEWER MANHOLE        | (T) | DECIDUOUS TREE             |
| (C)  | CATCH BASIN/CURB INLET     | (F) | CONIFEROUS TREE            |
| (S)  | SANITARY SEWER MANHOLE     | (V) | FIRE HYDRANT               |
| (W)  | WATER MANHOLE              | (V) | WATER VALVE                |
| (T)  | TELEVISION MANHOLE         | (W) | WATER METER                |
| (P)  | PHONE MANHOLE              | (G) | GAS VALVE                  |
| (U)  | UTILITY POLE W/LIGHT       | (B) | BURIED GAS MARKER          |
| (U)  | UTILITY POLE               | (G) | GAS METER                  |
| (L)  | LIGHT POLE                 | (B) | BURIED ELECTRIC MARKER     |
| (F)  | FLAG POLE                  | (B) | BURIED PHONE MARKER        |
| (M)  | MONITOR WELL               | (T) | TELEPHONE PEDESTAL         |
| (E)  | ELECTRIC BOX/TRANSFORMER   | (T) | MAIL BOX                   |
| (A)  | AIR CONDITIONING UNIT      | (S) | SIGN                       |
| (S)  | SANITARY SEWER MANHOLE     | (B) | BOLLARD                    |
| (T)  | STORM SEWER MANHOLE        | (T) | STORM SEWER MANHOLE        |
| (G)  | UNDERGROUND TELEPHONE LINE | (G) | UNDERGROUND TELEPHONE LINE |
| (S)  | GAS MAIN                   | (S) | GAS MAIN                   |
| (S)  | STORM SEWER LINE           | (S) | STORM SEWER LINE           |
| (S)  | SANITARY SEWER LINE        | (S) | SANITARY SEWER LINE        |
| (S)  | OVERHEAD ELECTRIC LINE     | (S) | OVERHEAD ELECTRIC LINE     |

**STORM SEWER INVENTORY**

ID	TYPE	RIM	INV	DESC
1	LB	961.18	949.08	BOTTOM OF PIT
2	CB	961.49	956.14	12" RCP SE
3	CB	961.70	956.57	12" RCP SE
4	CB	961.10	955.76	12" RCP NW
			955.76	12" RCP NE
			955.67	12" RCP NW
5	CB	961.44	955.67	12" RCP SW
			955.67	14" RCP SOUTH
			959.10	20" RCP NORTH
6	CB	965.58	959.10	20" RCP SOUTH
			960.03	12" RCP WEST
			959.12	20" RCP NW
7	MH	964.82	959.12	20" RCP SOUTH
8	MH	964.77	959.32	20" RCP NORTH
			959.32	20" RCP SE

**SANITARY SEWER INVENTORY**

ID	RIM	INV	DESC
1	961.76	957.88	10" PVC NE
		957.80	10" PVC WEST
2	965.97	957.00	10" PVC EAST
		957.00	10" PVC SOUTH
		958.17	12" PVC NORTH
3	966.67	958.17	12" PVC SOUTH
		959.07	8" PVC WEST
		957.77	18" CLAY SOUTH
4	965.17	957.77	18" CLAY NORTH

**DESCRIPTION:**

THAT PART OF THE EAST 1/2 OF SECTION 35, TOWN 2 SOUTH, RANGE 12 WEST, OSHTIMO TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN DESCRIBED AS COMMENCING AT THE NORTH 1/4 POST OF SAID SECTION 35; THENCE SOUTH 00°10'42" EAST, 2361.77 FEET ALONG THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION TO THE POINT OF BEGINNING; THENCE NORTH 89°33'28" EAST, 300.00 FEET PARALLEL WITH THE EAST AND WEST 1/4 LINE; THENCE SOUTH 00°10'42" EAST, 200.00 FEET, PARALLEL WITH SAID NORTH AND SOUTH 1/4 LINE; THENCE SOUTH 03°59'12" EAST, 163.42 FEET; THENCE SOUTH 59°33'28" WEST, 29.03 FEET; THENCE SOUTHWESTERLY 87.44 FEET ALONG THE NORTH LINE OF INDUSTRIAL DRIVE AND THE ARC OF A CURVE TO THE RIGHT, WHOSE RADIUS IS 167.00 FEET, AND WHOSE CHORD BEARS SOUTH 74°33'28" WEST, 86.43 FEET; THENCE SOUTH 89°33'28" WEST 203.00 FEET ALONG SAID NORTH LINE TO SAID NORTH AND SOUTH 1/4 LINE; THENCE NORTHERLY 139.75 FEET ALONG SAID 1/4 LINE TO THE CENTER OF SAID SECTION; THENCE NORTH 00°10'42" WEST, ALONG SAID 1/4 LINE TO THE POINT OF BEGINNING. SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE WESTERLY 50' THEREOF AS USED FOR 9TH STREET.

**NOTES:**

- HORIZONTAL DATUM IS SPC83, MICHIGAN SOUTH ZONE, INTERNATIONAL FEET, GRID AS MEASURED BY RTK GPS USING MCORS.
- VERTICAL DATUM IS NAVD88 AS MEASURED BY RTK GPS USING MCORS. SITE BENCHMARKS HAVE BEEN PLACED AS SHOWN. CONTOURS ARE SHOWN AT 10' INTERVALS.
- BOUNDARY SHOWN BASED ON TAX-ASSESSED LEGAL DESCRIPTION, NO TITLE WORK HAS BEEN PROVIDED FOR REVIEW. THIS DRAWING DOES NOT INTEND TO SHOW ANY EASEMENTS OR OTHER ENCUMBRANCES THAT MAY AFFECT THIS PROPERTY.
- UTILITIES ARE SHOWN BASED ON THE FIELD MEASURED LOCATIONS OF THEIR ABOVE-GROUND SURFACE IMPROVEMENTS AND MAPS AND PLANS PROVIDED BY THE FOLLOWING UTILITY PROVIDERS IN RESPONSE TO MISSDIG DESIGN TICKET #B10920493. PLEASE CALL MISSDIG PRIOR TO EXCAVATION FOR STAKING.
  - CONSUMERS ENERGY. CONTACT: DYLAN SHAW. EMAIL: DYLAN.SHAW@CMSENERGY.COM. PHONE: 517-581-9723. UNDERGROUND ELECTRIC LINES SHOWN AS PER MAPS PROVIDED.
  - AT&T. CONTACT: CHRIS O'BRIEN. PHONE: 269-926-0232. UNDERGROUND PHONE & FIBER ALONG THE EAST SIDE OF SOUTH 9TH STREET AND THE SOUTH SIDE OF VALLEY INDUSTRIAL DRIVE. SOME MISSDIG MARKINGS WERE FOUND IN THE FIELD AND LOCATED AS SHOWN. THERE ARE ALSO LINES SHOWN ON THE MAP PROVIDED THAT ARE SHOWN HERE AS APPROXIMATE. OTHER LINES MAY EXIST.
  - CHARTER COMMUNICATIONS. CONTACT: HAYLEY SEIDER. EMAIL: HAYLEY.SEIDER@CCISYSTEMS.COM. PHONE: 906-771-3116. LINES SHOWN PER MAPS PROVIDED.

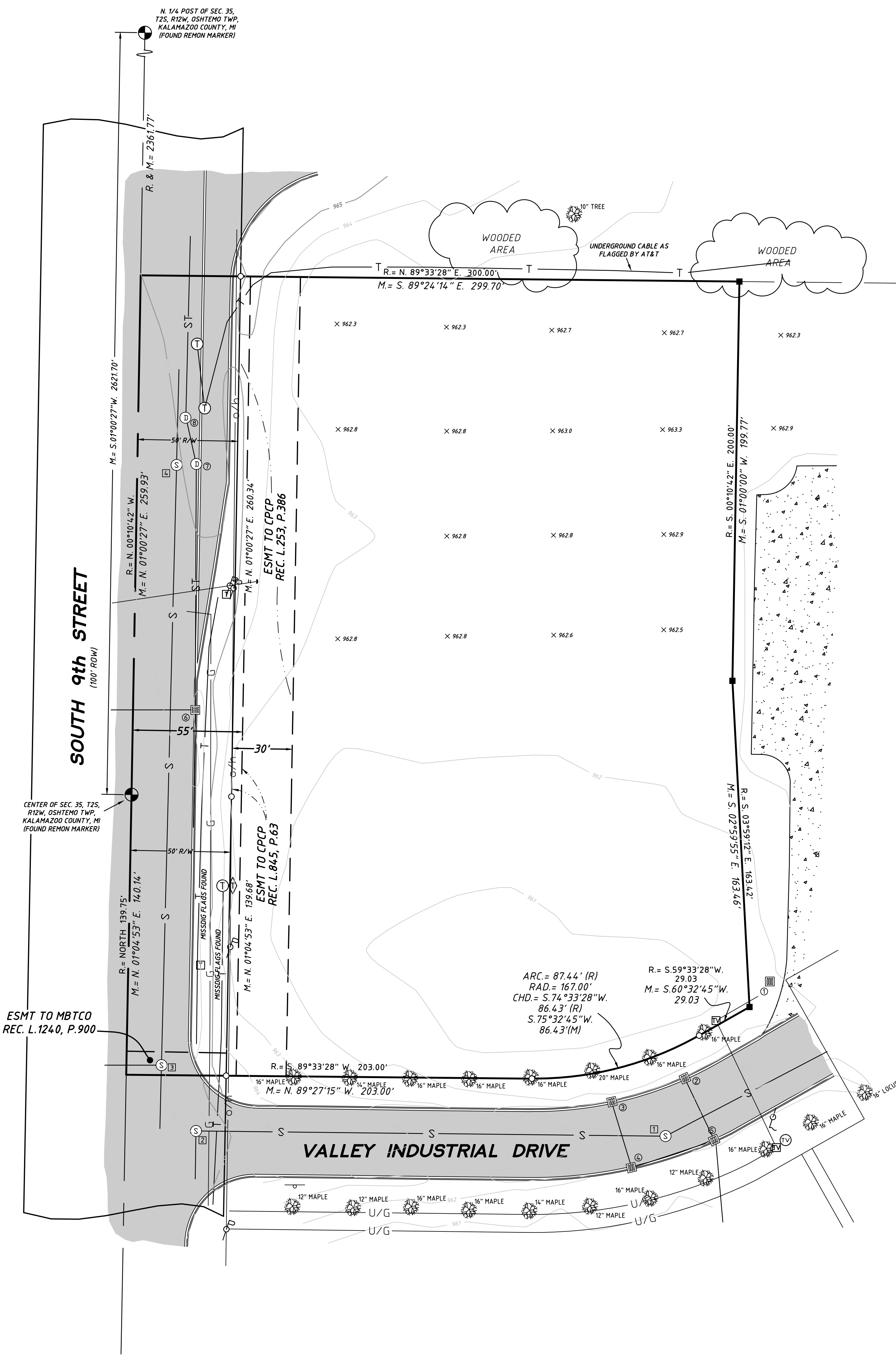
**EXCEPTIONS TO TITLE COMMITMENT #204212 BY SUN TITLE AGENCY:**

- THESE ARE NOT MATTERS OF SURVEY AND HAVE NOT BEEN REVIEWED.
- ENTIRE SUBJECT PARCEL FALLS WITHIN THE AREA DESCRIBED AS "A-1 DRAINAGE DISTRICT" IN EXHIBIT 3 OF AGREEMENT TO CONSIDER ESTABLISHMENT OF AND/OR ENLARGEMENT OF A DRAINAGE DISTRICT NO. 2002-006422. NEITHER THE "STORM RETENTION BASIN" OR THE "STORM SEWER EASEMENT" NOTED IN THE EASEMENT FOR DRAINAGE PURPOSES RECORDED IN LIBER 1494, PAGE 1272 (AND PART OF INST. #2002-006422) ARE WITHIN THE BOUNDARIES OF THE SUBJECT PROPERTY.
- UNABLE TO PLOT EASEMENT IN "CONSENT TO EASEMENT" RECORDED IN LIBER 1451, PAGE 197 AS THE REFERENCED DOCUMENT RECORDED IN LIBER 1451, PAGE 192 HAS NOT BEEN PROVIDED FOR REVIEW.
- EASEMENT TO MICHIGAN BELL TELEPHONE COMPANY RECORDED IN LIBER 1246, PAGE 900 WITHIN THE 9TH STREET R/W, AS SHOWN.
- 30' WIDE R/W TO CONSUMERS ENERGY RECORDED IN LIBER 253, PAGE 386 ADJACENT TO THE EAST LINE OF 9TH STREET, AS SHOWN.
- DOCUMENT PROVIDED FOR R/W TO CONSUMERS ENERGY RECORDED IN LIBER 832, PAGE 1005 IS ILLEGIBLE AND HAS NOT BEEN REVIEWED.
- 5' EASEMENT TO CONSUMERS ENERGY RECORDED IN LIBER 845, PAGE 63 ALONG THE EAST LINE OF 9TH STREET, AS SHOWN.
- EASEMENT TO MICHIGAN BELL TELEPHONE COMPANY RECORDED IN LIBER 850, PAGE 1437 IS 16.5' WIDE AND WITHIN THE 9TH STREET R/W. NOTHING SHOWN.
- EASEMENT TO MICHIGAN BELL TELEPHONE COMPANY RECORDED IN LIBER 850, PAGE 1438 IS 16.5' WIDE AND WITHIN THE 9TH STREET R/W. NOTHING SHOWN.



*Michael P. Pratt*  
 MICHAEL P. PRATT, P.S. #4001043067

**MISSDIG**  
**811**  
 know what's below





# PROPOSED FRIENDSHIP ANIMAL HOSPITAL

## Dr. Laura Billings, DVM

### 6476 Valley Industrial Drive

### Kalamazoo, Michigan

**SITE LIGHTING NOTE:**  
 A. PEDESTRIAN WALKWAYS AND DOORWAYS:  
 1. MOUNTED HEIGHT SHALL NOT EXCEED 14 FEET.  
 2. EACH LUMINAIRE SHALL NOT EXCEED 8,000 LUMENS.  
 SPACING SHALL NOT EXCEED 2.0 FC FOR WALKWAYS AND 6.0 FC FOR DOORWAYS.

Requires Compliance with Oshtemo Township Sidewalk Permit. Pre and Post pour inspections are required. Contact Oshtemo Township Public Works Department at publicworks@oshtemo.org or (269) 375-4260  
 all sidewalks shall meet Oshtemo Township sidewalk code/ ordinances.

U.S. POSTAL SERVICE

### LAYOUT NOTES

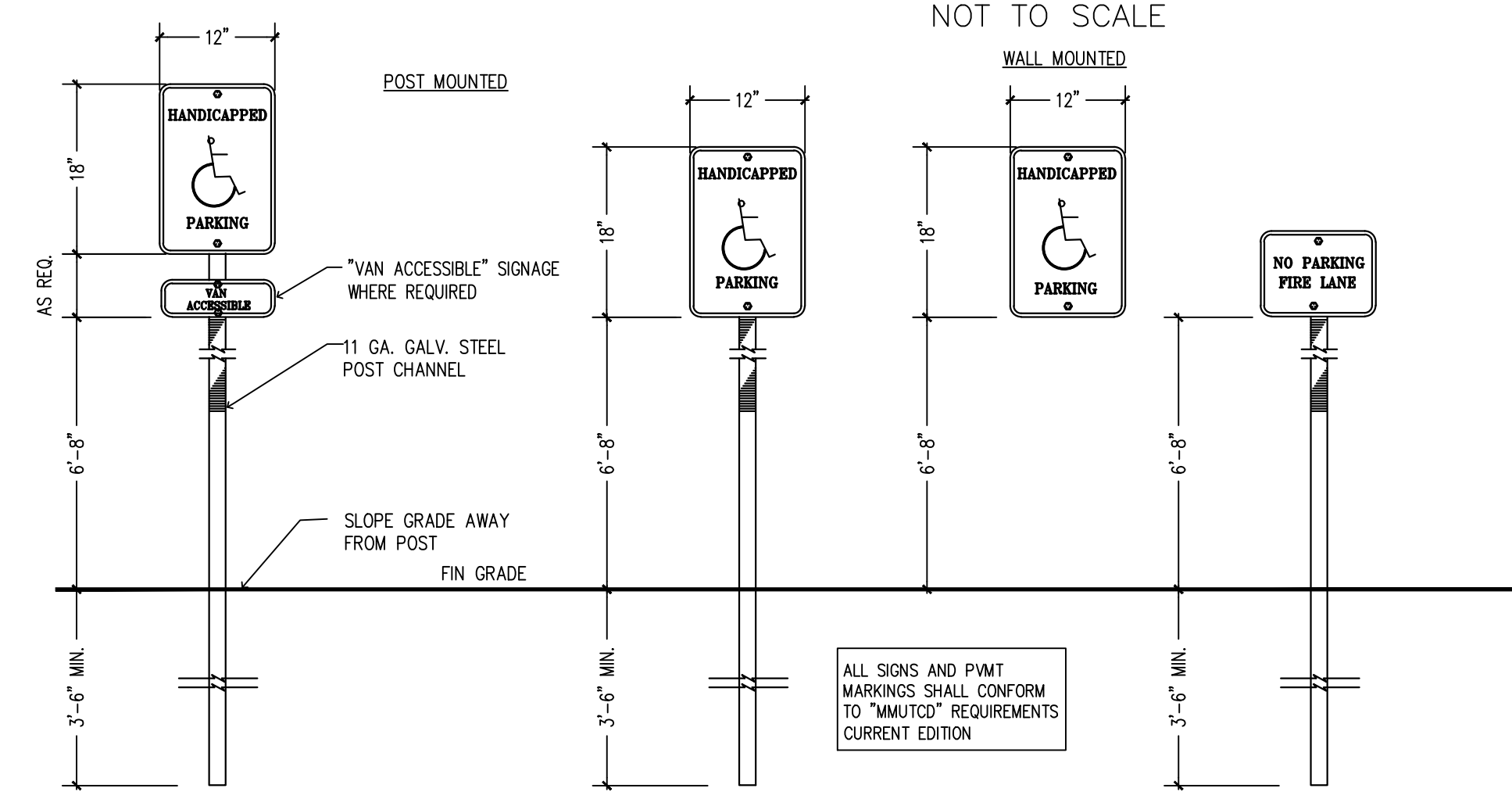
- BARRIER FREE PARKING AND ACCESSIBLE ROUTES MUST COMPLY WITH THE AMERICAN WITH DISABILITIES ACT (ADA) INCLUDING, BUT LIMITED TO THE FOLLOWING:  
 1:50 (2%) MAXIMUM CROSS-SLOPE ON ACCESSIBLE ROUTE. NO CHANGES IN ELEVATION GREATER THAN 1/2" ALONG ACCESSIBLE ROUTE, EXCEPT WHERE RAMPS ARE PROVIDED.  
 1:50 (2%) MAXIMUM SLOPE (IN ANY DIRECTION IN B.F. PARKING AND ACCESS ASLES).
- CURB RADIUS DIMENSIONS ARE TO BACK OF CURB. THICKENED EDGE CROSS SECTION SHALL BE USED WHERE SIDEWALK ADJUT PAVEMENT.
- FREE STANDING SIGN SHALL COMPLY WITH OSHTEMO TOWNSHIP SIGN ORDINANCE AND SHALL BE SUBMITTED SEPARATELY BY OTHERS.
- ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- DUMPSTER ENCLOSURE TO BE MASONRY MATCHING BUILDING 5'-8" ABOVE FINISH GRADE WITH GATE.

### LEGEND

	MISC. MANHOLE		SHRUB/BUSH
	STORM SEWER MANHOLE		DECIDUOUS TREE
	CATCH BASIN/CURB INLET		CONIFEROUS TREE
	SANITARY SEWER MANHOLE		FIRE HYDRANT
	WATER MANHOLE		WATER VALVE
	TELEVISION MANHOLE		WATER METER
	PHONE MANHOLE		GAS VALVE
	UTILITY POLE W/LIGHT		BURIED GAS MARKER
	UTILITY POLE		GAS METER
	LIGHT POLE		BURIED ELECTRIC MARKER
	FLAG POLE		BURIED PHONE MARKER
	MONITOR WELL		TELEPHONE PEDESTAL
	ELECTRIC BOX/TRANSFORMER		CABLE TV PEDESTAL
	AIR CONDITIONING UNIT		SIGN
	SANITARY SEWER MANHOLE		BOLLARD
	STORM SEWER MANHOLE		STORM SEWER MANHOLE
	UNDERGROUND TELEPHONE LINE		GAS MAIN
	GAS MAIN		STORM SEWER LINE
	STORM SEWER LINE		SANITARY SEWER LINE
	OVERHEAD ELECTRIC LINE		

### AUTO PARKING STRIPING

NOT TO SCALE



### BARRIER FREE PARKING SIGNS

NOT TO SCALE  
 PER MICHIGAN BARRIER FREE DESIGN & ANSI A117.1-2003

THE OWNER WILL SUBMIT REQUIRED LANDSCAPE PLAN PRIOR TO ISSUANCE OF BUILDING PERMIT. LANDSCAPE REQUIREMENTS TO FOLLOW SECTION 1280.05 OF THE PLANNING AND ZONING CODE OSHTEMO TOWNSHIP.  
 AN EMERGENCY KEY BOX FOR FIRE DEPARTMENT ACCESS WILL BE PROVIDED. KEY BOX LOCATION TO BE DETERMINED UPON SUBMITTAL OF BUILDING PLANS.  
 APPROPRIATE PERMITS TO BE OBTAINED FROM OSHTEMO TOWNSHIP.  
 A FIREFIGHTER RIGHT-TO-KNOW AND HAZARDOUS MATERIALS RIGHT-TO-KNOW FORMS TO BE SUBMITTED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

### DRAWING INDEX

- T1 COVER SHEET
- 1 ALTA/NSPS LAND TITLE SURVEY
- C1 SITE PLAN
- C2 SESC & DEMOLITION PLAN
- C3 SITE LAYOUT PLAN
- C4 GRADING & STORMWATER PLAN
- C5 UTILITIES PLAN
- C6 PHOTOMETRICS PLAN
- L1 LANDSCAPE PLAN
- L2 LAMONS LANDSCAPE PLAN
- A1 EXTERIOR ELEVATIONS
- A2 FLOOR PLAN

### GENERAL NOTES

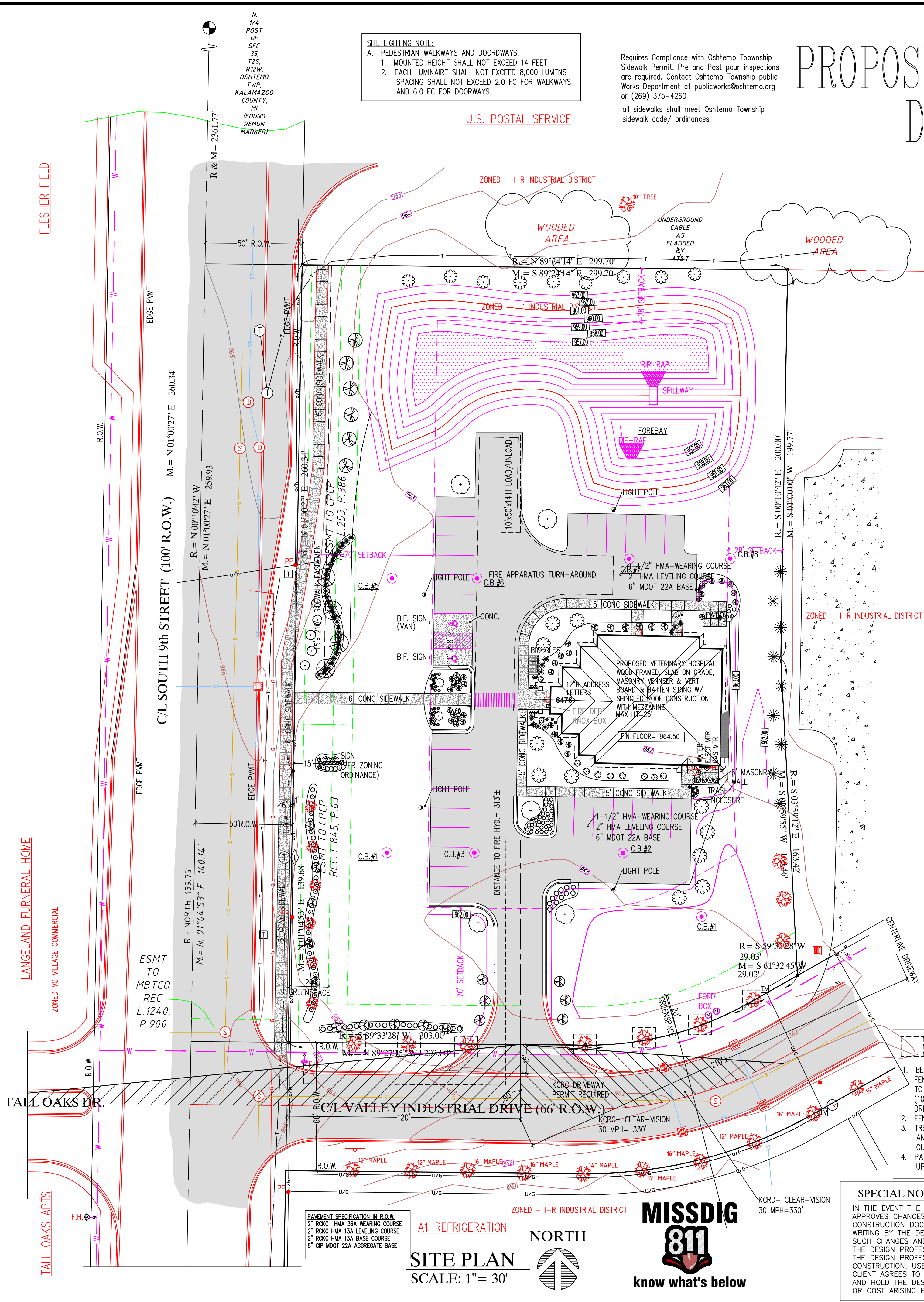
- ALL UTILITY LOCATIONS ARE APPROXIMATE. CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES BEFORE COMMENCING EXCAVATION AT THE SITE. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTORS EXPENSE. USE PRIVATE UTILITY LOCATOR SERVICE FOR ANY UTILITIES MISS DIG WILL NOT LOCATE.
- ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
- EROSION SHALL BE CONTROLLED AS SPECIFIED, AND AS REQUIRED BY LOCAL, STATE OR FEDERAL AUTHORITIES HAVING JURISDICTION.
- ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH A MINIMUM 4" TOPSOIL, SEED AND MULCH (UNLESS OTHER LANDSCAPING IS SHOWN).
- IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE WITH VARIOUS AGENCIES FOR WATER AND SEWER CONNECTIONS.
- PROTECT ALL BENCHMARKS DURING CONSTRUCTION. ANY BENCHMARKS DISTURBED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE CONTRACTORS EXPENSE.
- ALL WORK WITHIN RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF OSHTEMO TOWNSHIP. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING REQUIRED PERMITS.
- PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.
- VERIFY LOCATIONS OF ALL BELOW-GRADE UTILITIES PRIOR TO BEGINNING WORK, 72 HOURS BEFORE YOU CALL MISS DIG.

### TREE PROTECTION

- NO EXIST TREE CREDIT REQUESTED (PRIOR TO AND DURING CONSTRUCTION)
- BEFORE ANY SITE WORK BEGINS, ERECT TREE PROTECTION FENCING THAT WILL SHIELD AND PROTECT ALL TREES DESIGNATED TO BE PRESERVED. FENCING SHOULD BE NO CLOSER THAN TEN (10) FEET FROM TRUNK OF TREE OR FIVE FEET (5) BEYOND DRIP-LINE OF TREE.
  - FENCING SHALL BE MINIMUM 48" HIGH.
  - TREE PROTECTION SHALL BE MAINTAINED DURING CONSTRUCTION AND ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE KEPT OUT OF THE PROTECTED AREA.
  - PAVING, OR OTHER SITE IMPROVEMENTS, SHALL NOT ENCRoACH UPON DRIPLINE OF TREES TO BE PRESERVED.

### SPECIAL NOTE:

IN THE EVENT THE CLIENT CONSENTS TO, ALLOWS, AUTHORIZES OR APPROVES CHANGES TO ANY PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS AND THESE CHANGES ARE NOT APPROVED IN WRITING BY THE DESIGN PROFESSIONAL, THE CLIENT RECOGNIZES THAT SUCH CHANGES AND THE RESULT THEREOF ARE NOT THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL. THEREFORE, THE CLIENT AGREES TO RELEASE THE DESIGN PROFESSIONAL FROM ANY LIABILITY ARISING FROM THE CONSTRUCTION, USE OR RESULT OF SUCH CHANGES. IN ADDITION, THE CLIENT AGREES TO THE FULLEST EXTENT PERMITTED BY LAW, TO IDENTIFY AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ANY DAMAGE, LIABILITY OR COST ARISING FROM SUCH CHANGES.



**SITE PLAN**  
 SCALE: 1" = 30'

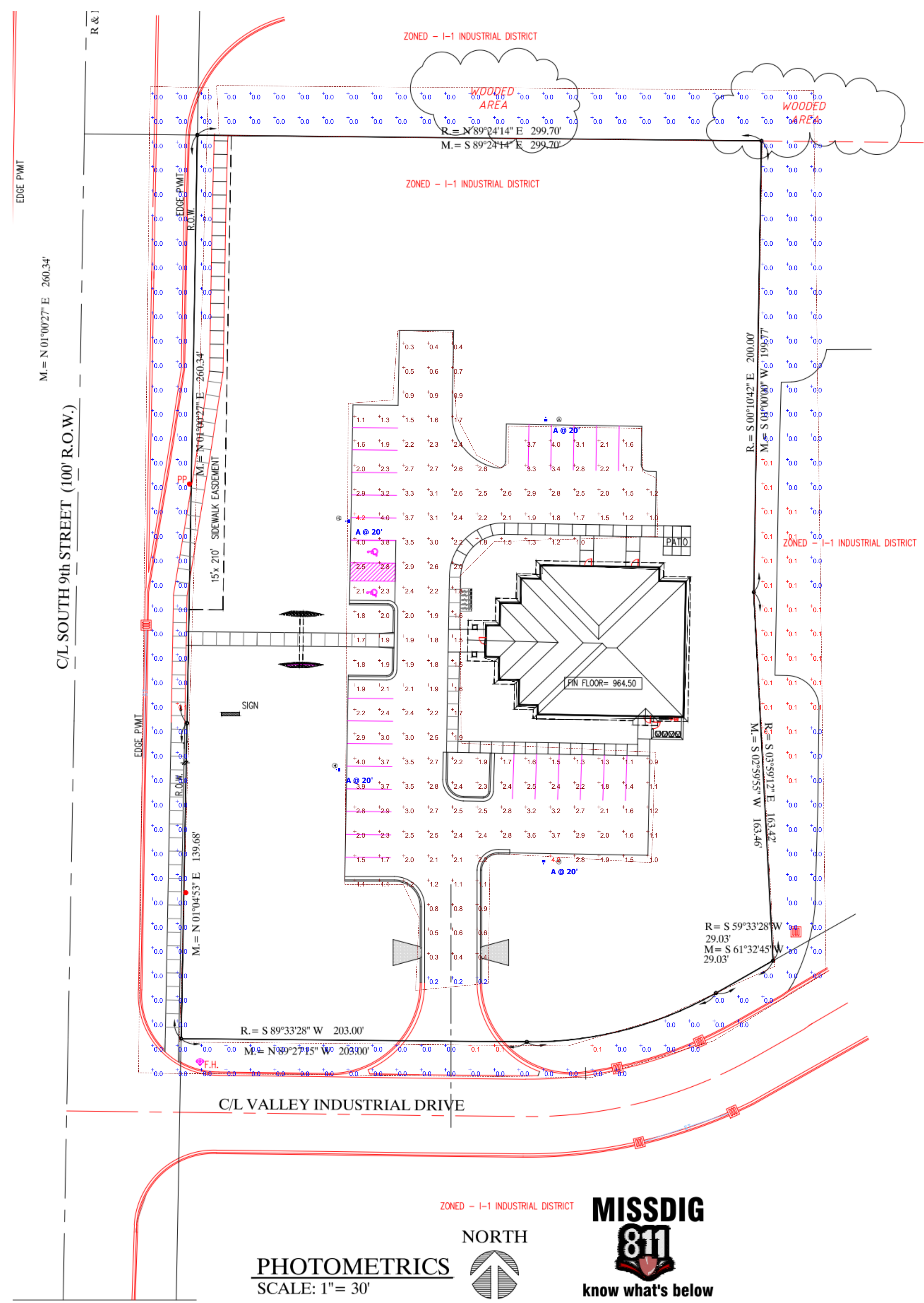


SITE DATA	
1. Property Owner:	Ninth Street Development Co. 3920 Magazine St. New Orleans, La. 70115
2. Property Address:	6476 Valley Industrial Drive Kalamazoo, MI 49009
3. Developer:	HANSEN BUILDING & DESIGN CORP. 3027 Woodhams Portage, Michigan 49002 Tel: 269-599-4212
4. Architect:	BATES/ ARCHITECTS 8793 Western Woods Drive. Kalamazoo, Michigan 49009 Tel: 269-349-3314
5. Parcel Number:	05-35-255-066
6. Legal Description:	That part of the East 1/2 of Section 35, Town 2 South, Range 12 West, Oshtemo Township, Kalamazoo County, Michigan described as Commencing at the North 1/4 post of said Section 35; thence South 00°10'42" East, 2361.77 feet along the North and South 1/4 line of said Section to the Point of Beginning; thence North 89°33'28" East, 300.00 feet parallel with said North and South 1/4 line; thence South 00°10'42" East, 200 feet, parallel with said North and South 1/4 line, thence South 03°59'12" East, 163.42 feet; thence South 59°33'28" West, 29.03 feet; thence Southwesterly 87.44 feet along the North line of Industrial Drive and the arc of a curve to the right, whose radius is 167.00 feet, and whose chord bears South 74°33'28" West, 86.43 feet; thence South 89°33'28" West, 209.00 feet along said North line to said North and South 1/4 line; thence Northerly 139.75 feet along said 1/4 line to the center of said Section; thence North 00°10'42" West, along said 1/4 line to the Point of Beginning. Subject to the Rights of the Public over the Westerly 50' thereof as used for 9th Street.
7. Property Size:	99,890± sq. ft. = 2.3± Acres.
8. Present Land Use:	Undeveloped
9. Present Zoning:	I-1 Industrial District
10. Proposed Land Use:	Veterinary Clinic (small animals) (Special Use Requested)
11. Proposed Building Type Construction:	Type "5B" (Non Sprinkled) - Single story wood frame, slab on grade. Partial Stone Veneer with board & batten siding and shingled roof. First Fl = 5,042 SF + Mezz. 750 SF = 5,792 SF.
12. Building Height:	24'-8"±
13. Minimum spacing between buildings:	N/A
14. Setbacks:	Front/road - 70 feet Sides - 20 feet (28") Rear - 20 feet (28")
15. Land Usage:	99,923 Sq. ft. = 2.3 Acres Building = 5.8% Pavement = 20.5% Green Space = 73.7%
16. Parking Requirements:	Veterinary Clinic (1) space per 150 sq. ft. Net Floor Area. 1st Floor = 5,042 SF + Mezz 750 SF = 5,792 5,792 @ 74% usable sq. ft. / 150 = 29 Total Parking Spaces Required = 29 spaces One Barrier Free Min per 25 req. spaces (2 spaces).
17. Parking Spaces Provided:	28 Sp @ 10' x 20' 2 B.F. Sp @ 10' x 20' + 8' Aisle 30 Total Spaces provided. (110%)
18. Loading Area:	Sec 21.08 Off-Street Loading Load/Unload Space 10'x50'x14'H (Not required)
19. All Storm Water to remain on site.	
20. All floor drains to be connected to Sanitary Sewer.	
21. Erosion & Sediment Control (SECC) work shall comply with Standards and Specifications of Kalamazoo County Drain Commission.	
22. Hazardous Materials Right-to-Know Form shall be submitted with Building Plans.	
23. All Pavement markings & Traffic Signs shall conform to "MMUTCO", Current Ed.	
24. Building Code: Michigan 2015 Building Code.	
25. Occupancy Use Group: "B" Business	
26. This Site is not located in a Flood Plain.	
27. Signs: All Signs shall conform to Oshtemo Township Zoning Code & be submitted for separate permits.	
28. Site Lighting:	a. Parking Lot Lighting shall be "Off" during non-operational hours - 10:00 P.M. To 06:00 A.M. b. All exterior lighting shall be sharp cut-off controlled by Photocell & Timer. c. Softfit Downlights shall be 75W maximum. d. All outdoor lighting will be installed and maintained consistent with Oshtemo Township Code. All exterior lights shall be shielded (sharp cut-off style) Light levels shall not exceed 0.1 footcandles along the East, North & South property lines.
29. Landscaping: As shown on drawings, & at minimum conform to Oshtemo Township Zoning requirements for type of Use. (No tree credits requested)	a. Parking Lot Islands: Min 25 sf per park space 30 park space x 25 sf = 750 sf. (958 sf provided) (1) Canopy per 200 sf = 4 (2) Shrub per 200 sf = 8 b. Road frontage; 20 ft Greenbelt - trees per 100 ft. (1) Canopy = 2 (2) Evergreen = 2 (2) Understory = 2
30. Trash enclosure: Enclosed Courtyard Owner to use Herbie-Curtis.	
31. Appropriate Permits to be obtained from Oshtemo Township, Kalamazoo County, Michigan prior to commencing construction.	

REVISIONS  
 03/08/24  
 PER SITE PLAN REVIEW COMMENTS  
 REVISION 03/28/24 R.O.W.-VALLEY INDUSTRIAL DRIVE/PAVING/PAVING UFA  
 REVISION 04/16/24 PAVING UFA REVISION STORMWATER  
 BATES ARCHITECTS  
 8793 WESTERN WOODS DRIVE, KALAMAZOO, MI 49009  
 TELEPHONE 269/349-3314 or@bates-arch.com  
 SITE PLAN  
 PROPOSED FRIENDSHIP ANIMAL HOSPITAL  
 Dr. LAURA BILLINGS DVM  
 6476 VALLEY INDUSTRIAL DRIVE  
 KALAMAZOO, MICHIGAN  
 HANSEN BUILDING AND DESIGN CORPORATION  
 3027 WOODHAMS  
 PORTAGE, MI 49002  
 02/02/24  
 C1  
 2406

DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF SERVICE ARE, AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT THE PROJECT SITE. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, SEQUENCES, PROCEDURES, OR FOR SAFETY/PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT. © 2024





ZONED - I-1 INDUSTRIAL DISTRICT

NORTH

**PHOTOMETRICS**

SCALE: 1" = 30'

**MISSDIG**

**811**

know what's below

Plan View  
Scale - 1" = 30ft

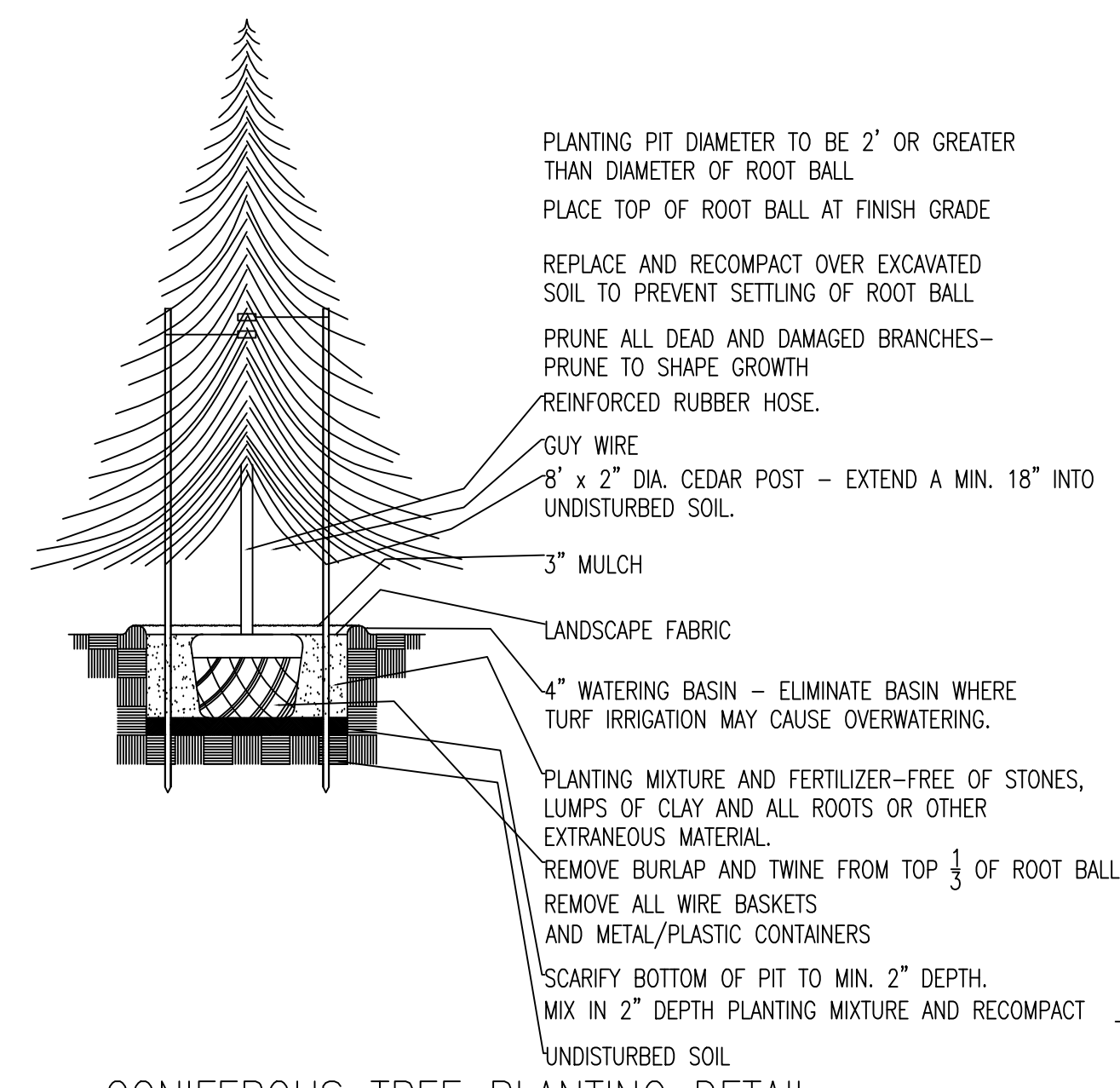
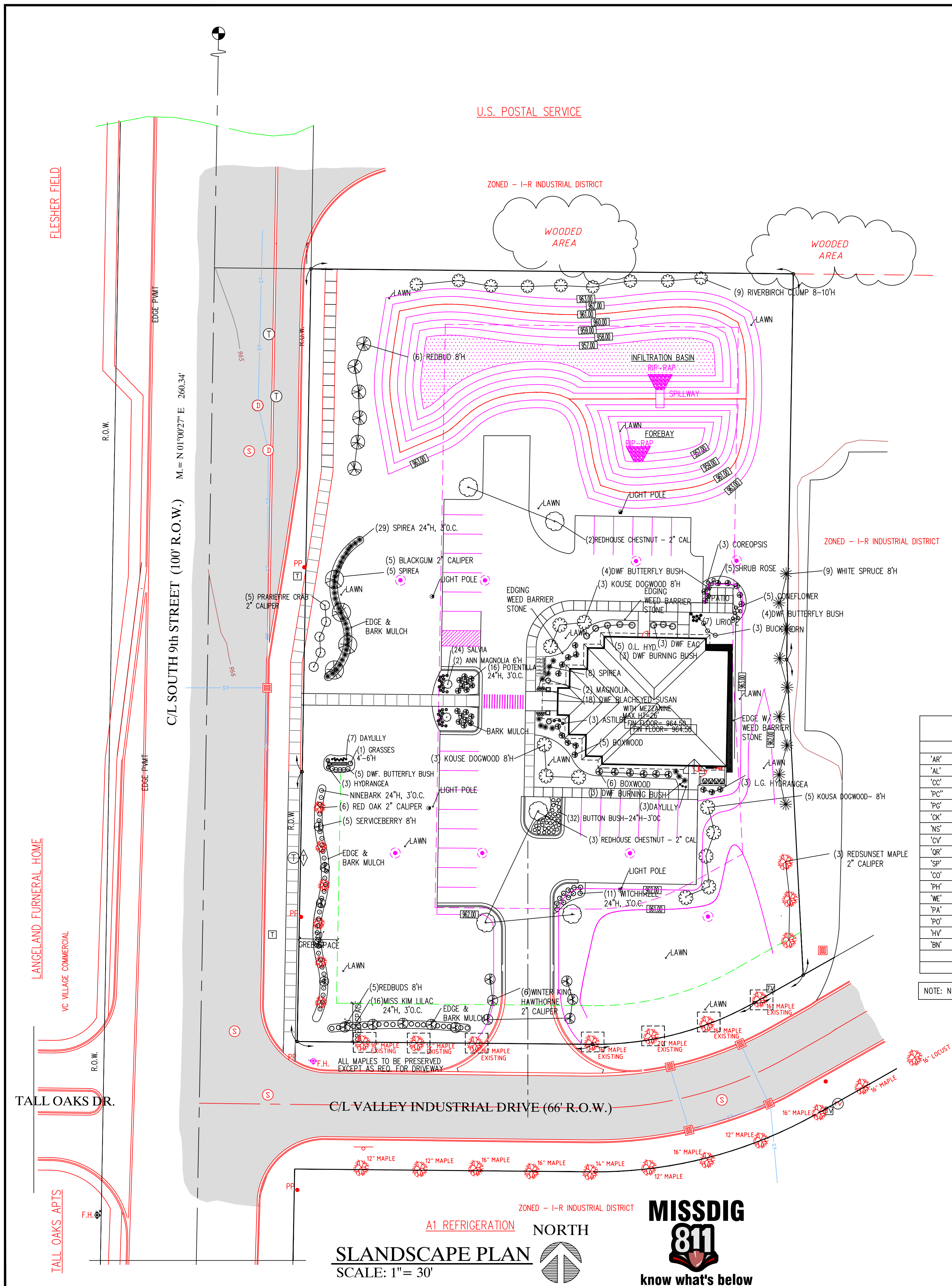
**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Parking Lot	+	2.1 fc	4.2 fc	0.2 fc	21.0:1	10.5:1

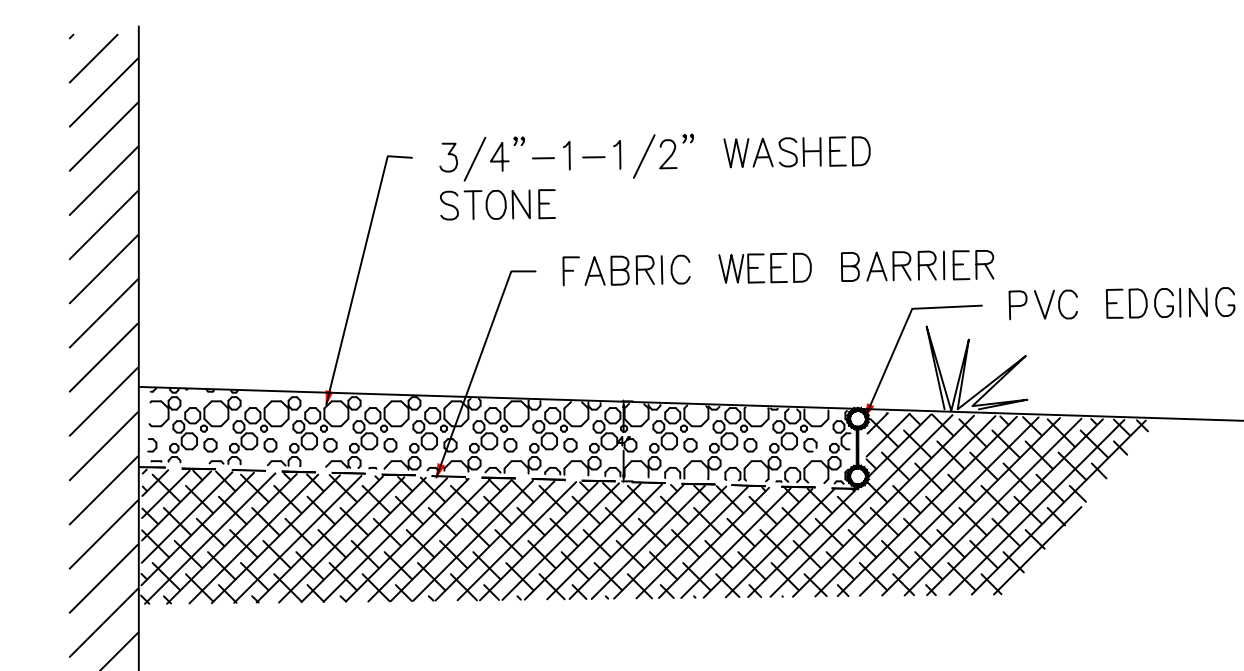
**Schedule**

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	A		4	Lithonia Lighting	DSX0 LED P6 40K 80CRI T4M SPA NLTAR2 PRHN DDBXD w/ SSS 20 4C DM19AS DDBXD	D-Series Size 0 Area Luminaire P6 Type 4 Medium	1	15957	1	137	 Max: 12765cd

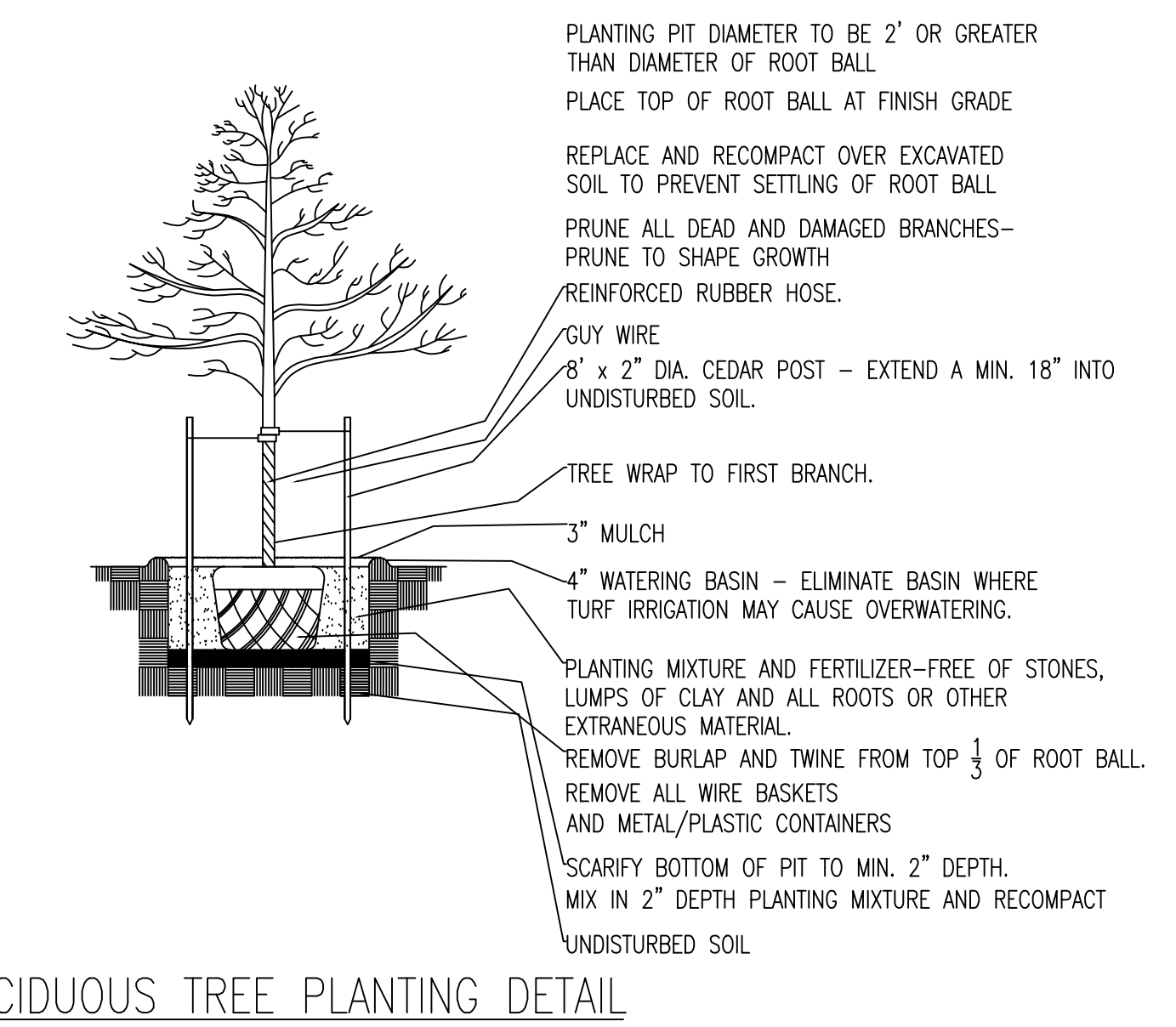




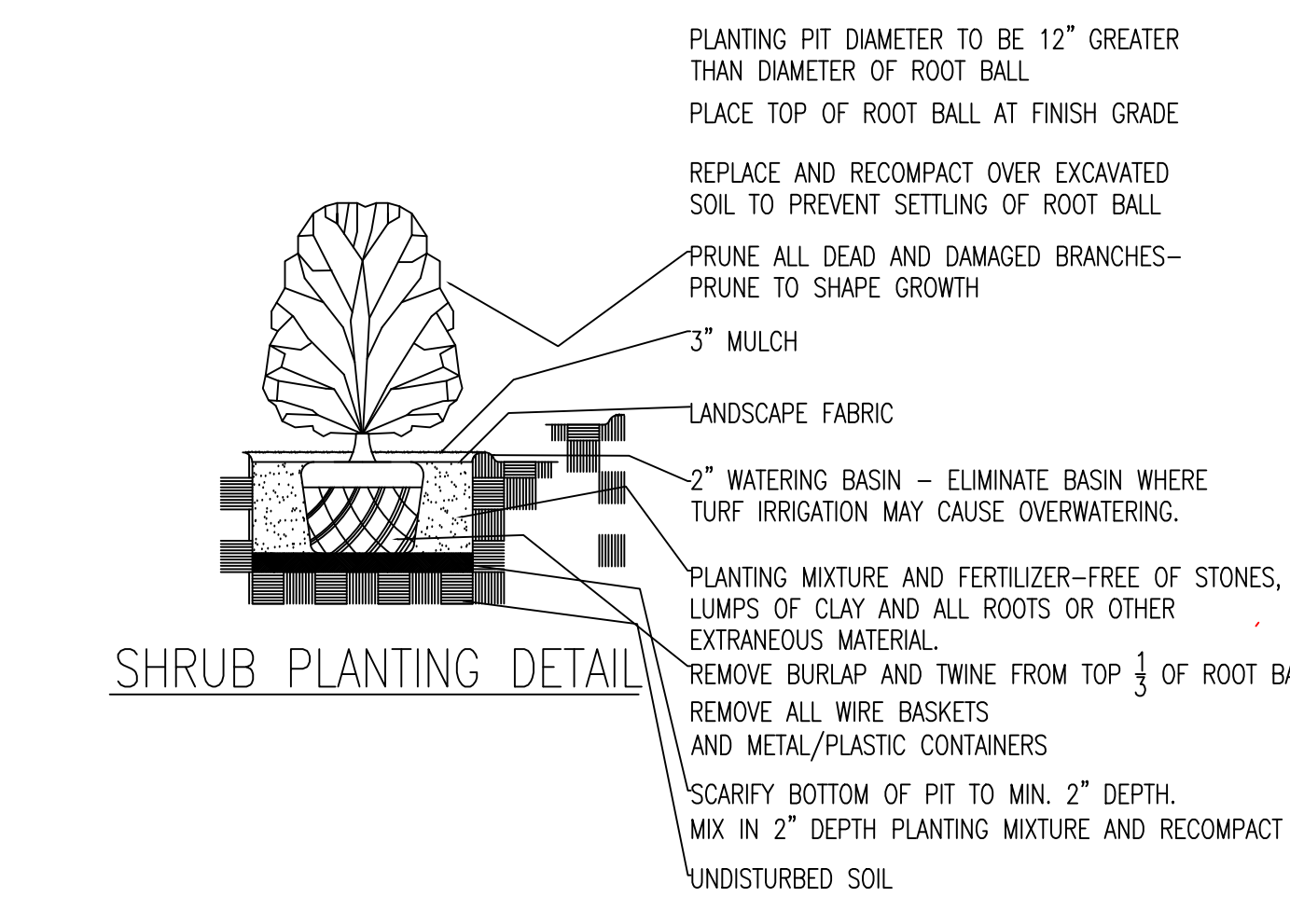
CONIFEROUS TREE PLANTING DETAIL



STONE DRIP SURROUND  
SCALE: NONE  
NOTE: PROVIDE 3"-0" WIDE STONE SURROUND AROUND ALL EXTERIOR NEW ADDITIONS WALLS.



DECIDUOUS TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

Code	Quantity	Species	Size	Notes
'AR'	3	ACER RUBRUM	REDSUNSET MAPLE	2" CALIPER B&B - NATIVE
'AL'	12	AMELANCHIER LAEVIS	SERWBERRY	8 FT B&B - NATIVE
'CC'	11	CERCIS CANADENSIS	REDBUD	8 FT B&B - NATIVE
'PC'	7	AESCULUS CARNEA	REDHOUSE CHESTNUT	2" CALIPER B&B - NON-NATIVE
'PG'	9	PICEA GLAUCA	WHITE SPRUCE	8 FT B&B - NATIVE
'CK'	11	CORNUS KOUSA	KOUSA DOGWOOD	8 FT NON-NATIVE
'NS'	5	NYSSA SYLVATICA	BLACKGUM	2" CALIPER NATIVE
'CV'	6	CRATAEGUS VIRIBIS W.K.	HAWTHORN	B&B - NON-NATIVE
'OR'	9	QUERCUS RUBRA	RED OAK	2" CALIPER B&B - NATIVE
'SP'	48	SPIREA	24"	B&B - NON-NATIVE
'OO'	32	CEPHALANTHUS OCCIDENTALIS	BUTTON BUSH	24" B&B - NATIVE
'PH'	33	PHYSCARPUS	NINEBARK	24" CONT - NATIVE
'WE'	22	WEIGELA	24"	B&B - NON-NATIVE
'PA'	16	PATULA	MISS KIM LILAC	24" B&B - NATIVE
'PO'	16	POTENTILLA	POTENTILLA	24" B&B - NON-NATIVE
'HV'	11	HAMAMELIS VIRGINIANA	WITCHAZELL	24" CONT - NON-NATIVE
'BN'	9	BETULA NIGRA	RIVERBIRCH	8-10 FT B&B - NON-NATIVE

NOTE: NO TREE CREDIT ASKED FOR.

LANDSCAPE DESIGN BY:  
LAMONS LANDSCAPE, INC.  
629-TREE

**REQUIRED LANDSCAPE**  
Landscape: As shown on drawings, & at minimum conform to Oshkosh Township Zoning requirements for type of Use.  
(No tree credits requested)  
a. Parking Lot Islands: Min 25 sf per park space  
30 park space x 25 sf = 750 sf. (958 sf provided)  
(1) Canopy per 200 sf = 4  
(2) Shrub per 200 sf = 8  
b. Road frontage: 20 ft Greenbelt - trees per 100 lf. ft.  
9th St - Canopy = 400 lf/100 = 4  
Provided - (6) Red Oak  
9th St - Understory = 400 lf/100 = 8  
Valley Industrial Dr. - Canopy = 232 lf = 2  
Understory = 232 lf = 4  
Provided - (7) Maple (Existing)  
(7) Existing Maples to remain

**REQUIRED INTERIOR LANDSCAPE**  
Landscape: As shown on drawings, & at minimum conform to Oshkosh Township Zoning requirements for type of Use.  
(No tree credits requested)  
a. In addition to Parking Lot & Greenbelt landscaping, minimum of 10% developed area of parcel must be landscaped as follows:  
b. In addition to other landscape requirement,  
(1) Canopy tree per 1,500 sq. ft.  
(1) Understory tree per 2,500 sq. ft.  
c. Calculations:  
Site Area = 99,876 sq. ft.  
Bldg & Pmnt = 26,247 sq. ft.  
Interior Site = 73,629 sq. ft.  
73,629 sq. ft. x 10% = 7,362.9 sq. ft.  
7,362.9 sq. ft. / 1,500 = (5) Canopy trees.  
7,362.9 sq. ft. / 2,500 = (3) Understory trees.  
d. Provided:  
(14) Canopy Trees - 14-5= 9 additional  
(31) Understory Trees - 31-3= 28 additional

**GENERAL NOTES:**

- INSTALL CONSTRUCTION FENCE AROUND DRIP LINES OF EXISTING TREES TO REMAIN. NO COMPACTION OR INCREASED DEPTH OF SOIL OVER THE ROOT SYSTEM AREA PRIOR TO AND DURING CONSTRUCTION.
- ALL LAWN AREAS SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: SUN & SHADE PARK BLEND  
32.65 PROLINE ST PENNENIAL RYEGRASS  
32.59 SHAMROCK KENTUCKY BLUEGRASS  
32.56 ORACLE KENTUCKY BLUEGRASS  
USE EROSION CONTROL BLANKETS ON 50% SLOPE OR GREATER.
- ALL EDGING SHALL BE STANDARD COMMERCIAL-STEEL EDGING 1/8" x 4", ROLLED EDGE FABRICATED IN SECTIONS OF STANDARD LENGTHS WITH LOOPS STAMPED FROM OR WELDED TO FACE OF SECTIONS TO RECEIVE STAKES IN STANDARD GREEN FINISH OR GREEN PAINT.
- PROVIDE QUALITY, SIZE, GENUS SPECIES AND VARIETY OF EXTERIOR PLANTS INDICATED COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 'AMERICAN STANDARD FOR NURSERY STOCK'.
- MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS, ROLL, REGRADE AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED.
- PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENT, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
- REMOVE STONES LARGER THAN 1" IN ANY DIRECTION AND STICK, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER FROM SITE.
- MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED.
- MAINTAIN TREES AND SHRUBS

**TREE PROTECTION**

- (PRIOR TO AND DURING CONSTRUCTION)
- BEFORE ANY SITE WORK BEGINS, ERECT TREE PROTECTION FENCING THAT WILL SHIELD AND PROTECT ALL TREES DESIGNATED TO BE PRESERVED. FENCING SHOULD BE NO CLOSER THAN TEN (10) FEET FROM TRUNK OF TREE OR FIVE FEET (5) BEYOND DRIP-LINE OF TREE.
  - FENCING SHALL BE MINIMUM 48" HIGH.
  - TREE PROTECTION SHALL BE MAINTAINED DURING CONSTRUCTION AND ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE KEPT OUT OF THE PROTECTED AREA.
  - PAVING, OR OTHER SITE IMPROVEMENTS, SHALL NOT ENCROACH UPON DRIP-LINE OF TREES TO BE PRESERVED.

REVISIONS  
REVISED 03/08/24  
PER SITE PLAN REVIEW  
INDUSTRIAL DISTRICT  
INDUSTRIAL ZONE  
REVISED: 04/26/24 STORMWATER

LANDSCAPE PLAN

PROPOSED FRIENDSHIP ANIMAL HOSPITAL  
Dr. LAURA BILLINGS DVM  
6476 VALLEY INDUSTRIAL DRIVE  
KALAMAZOO, MICHIGAN

HANSEN BUILDING  
AND DESIGN CORPORATION  
3027 WOODHAMS  
PORTAGE, MI 49002

02/02/24

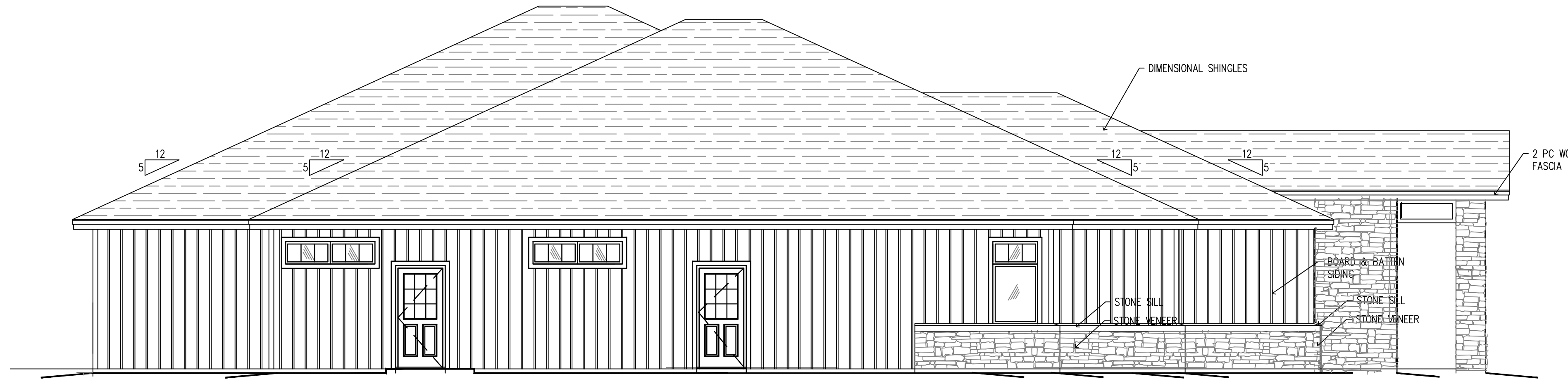
L1

2406

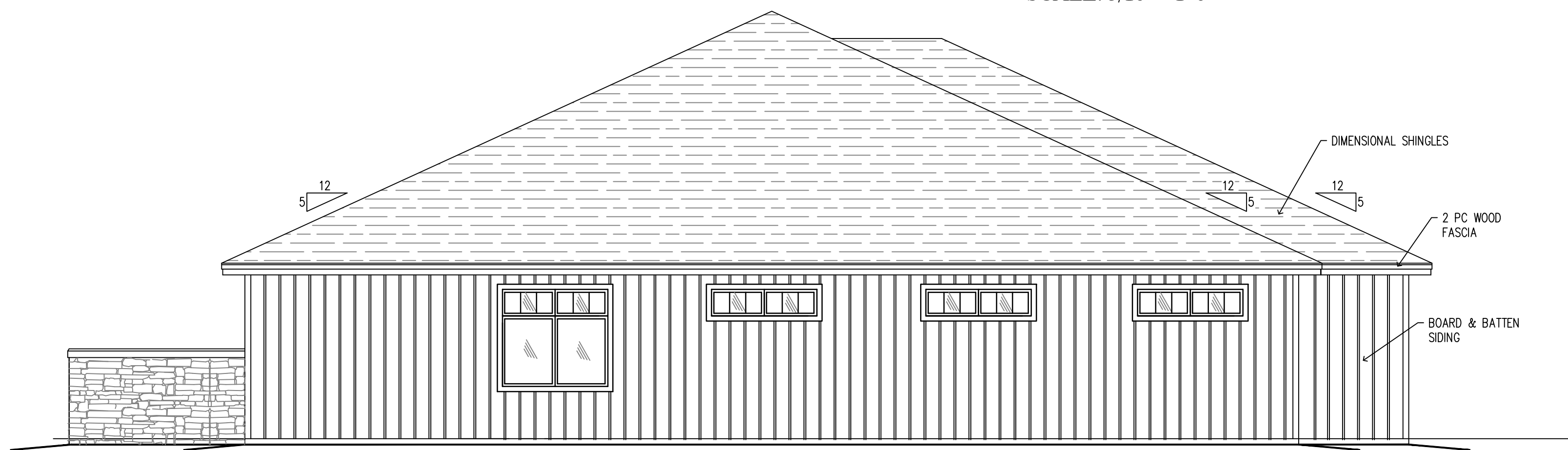




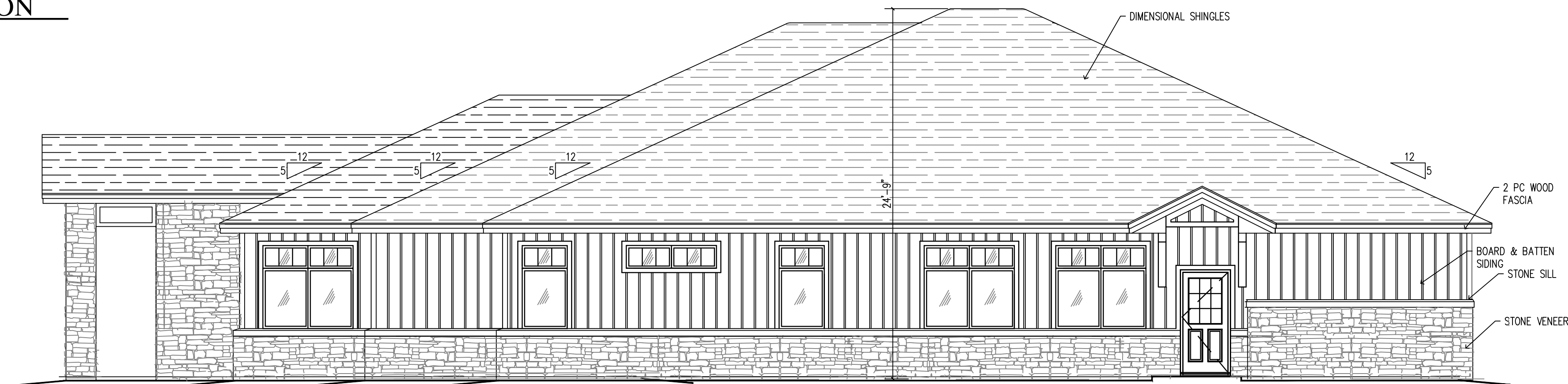
**WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

© 2024. DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF SERVICE ARE, AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT THE PROJECT SITE. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

**REVISIONS**  
REVISED 04/26/24- ROOF PITCH

**BATES ARCHITECTS**  
8793 WESTERN WOODS DRIVE, KALAMAZOO, MI 49009  
ent@bates-arch.com  
TELEPHONE 269/349-3314

**EXTERIOR ELEVATIONS**

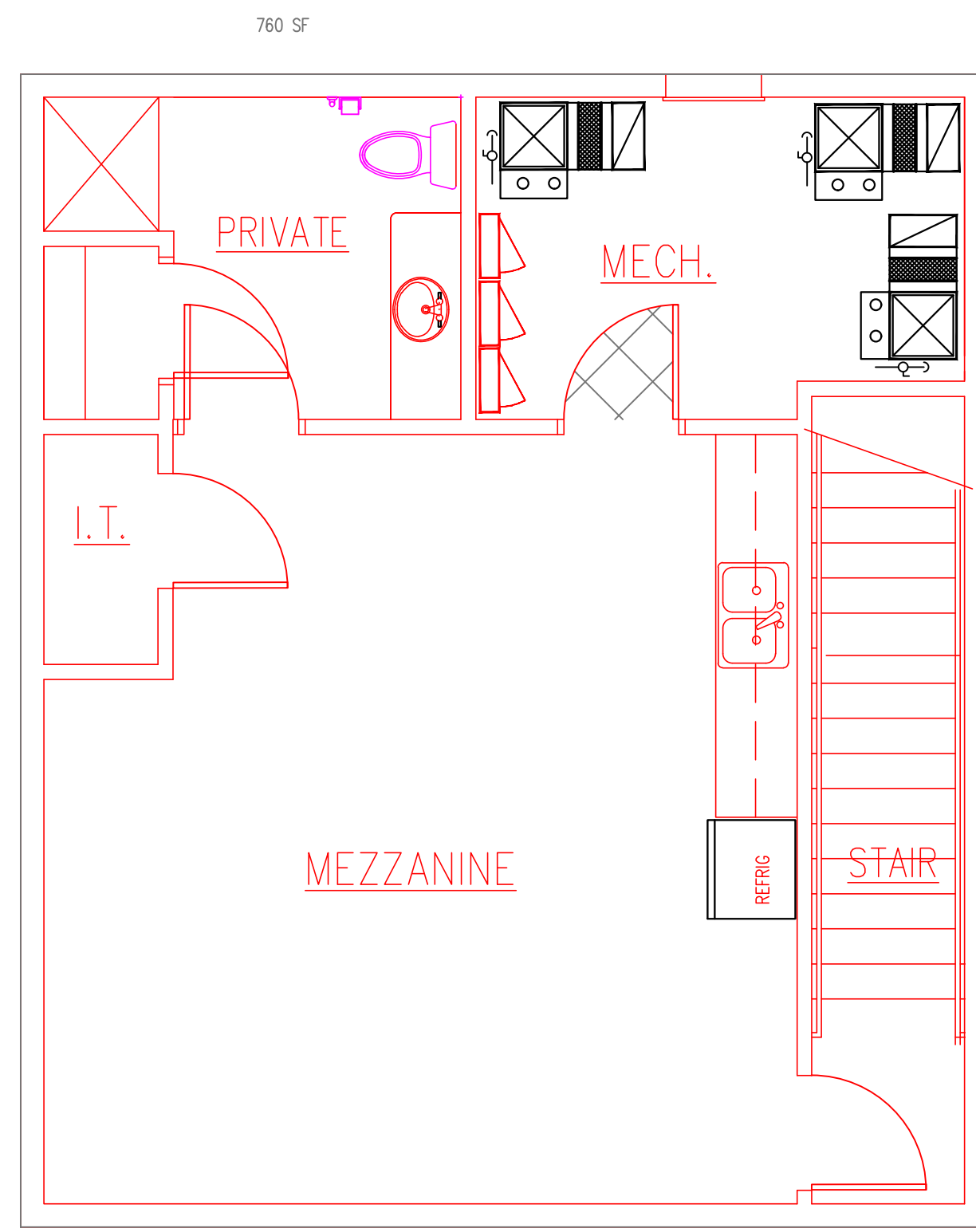
**PROPOSED FRIENDSHIP ANILAL HOSPITAL**  
**DR. LAURA BILLINGS, DVM**  
6476 VALLEY INDUSTRIAL DRIVE  
KALAMAZOO, MICHIGAN

**HANSEN BUILDING AND DESIGN CORPORATION**  
3027 WOODHAMS  
PORTAGE, MI 49002

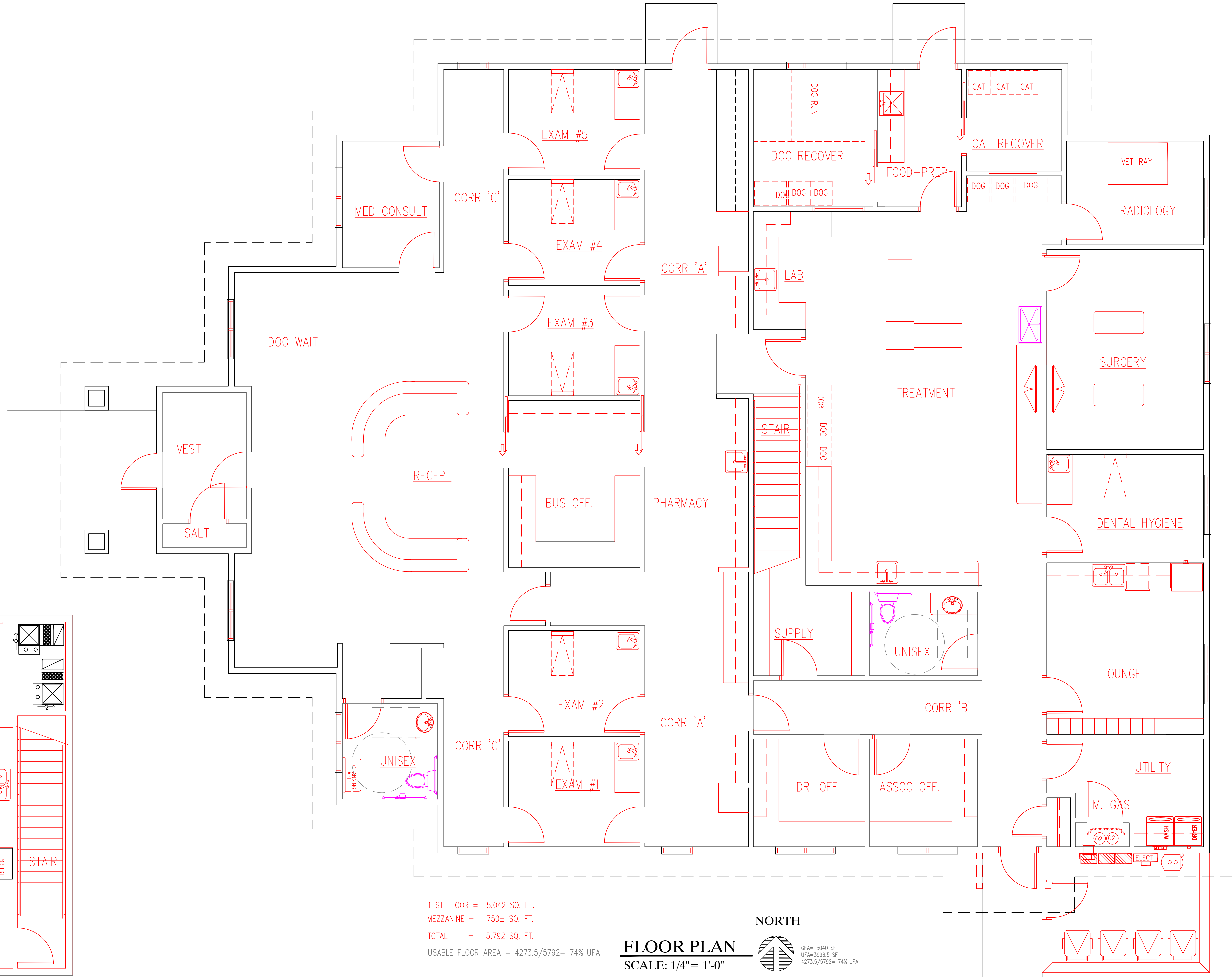
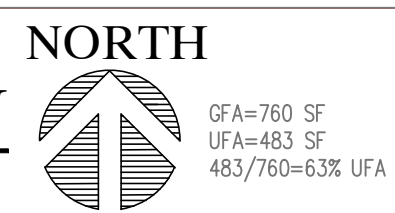
02/02/24

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2406



**MEZZ. FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



1 ST FLOOR = 5,042 SQ. FT.  
MEZZANINE = 750± SQ. FT.  
TOTAL = 5,792 SQ. FT.  
USABLE FLOOR AREA = 4273.5/5792= 74% UFA

**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



© 2024 DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF SERVICE ARE, AND SHALL REMAIN PROPERTY OF THE ARCHITECT. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT THE PROJECT SITE. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.  
REVISED 04/26/24 - USABLE FLOOR AREA

 <b>BATES ARCHITECTS</b> 8793 WESTERN WOODS DRIVE, KALAMAZOO, MI 49009 TELEPHONE 269/749-3314 <a href="mailto:art@bates-arch.com">art@bates-arch.com</a>	<b>PROPOSED FLOOR PLAN</b>
	<b>PROPOSED FRIENDSHIP ANIMAL HOSPITAL</b> <b>DR. LAURA BILLINGS, DVM</b> 6476 VALLEY INDUSTRIAL DRIVE KALAMAZOO, MICHIGAN
 <b>HANSEN BUILDING AND DESIGN CORPORATION</b> 3027 WOODHAMS PORTAGE, MI 49002	02/02/24
<b>A2</b>	2406

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May 13, 2024

**Mtg Date:** May 23, 2024

**To:** Oshtemo Township Planning Commission

**From:** Jodi Stefforia, Planning Director

**Applicant:** Jeff Scheffers, Visser Developers/Visser Construction

**Owner:** Viser Developers of Kalamazoo, LLC

**Property:** Phase 3 of West Port Village; Parcel Number 05-12-205-070

**Zoning:** R-2: Residence District

**Request:** Amend PUD Phase 3 into Phase 3 and Phase 4 *and* Step One Tentative Preliminary Plan Approval for Phase 3 - 17 Site Condominium Units

**Section(s):** Section 41: Planned Unit Development  
 Section 290: Subdivision, Site Condominium, and Land Division Ordinance

**PROJECT SUMMARY:**

Jeff Scheffers on behalf of the property owner, Visser Developers of Kalamazoo LLC, is requesting approval to modify the West Port Village planned unit development (PUD) to split phase 3 into two phases: Phases 3 and 4 and the reconfiguration of unit 88 in Phase 2. The applicant is also requesting step one tentative preliminary plan approval for approval of the revised Phase 3 which contains 17 building sites. West Port Village site condominium development is on the south side of West H Avenue between Us 131 and Drake Road within the R-2: Residence District zoning designation.



**ANALYSIS:**

***Project Phasing***

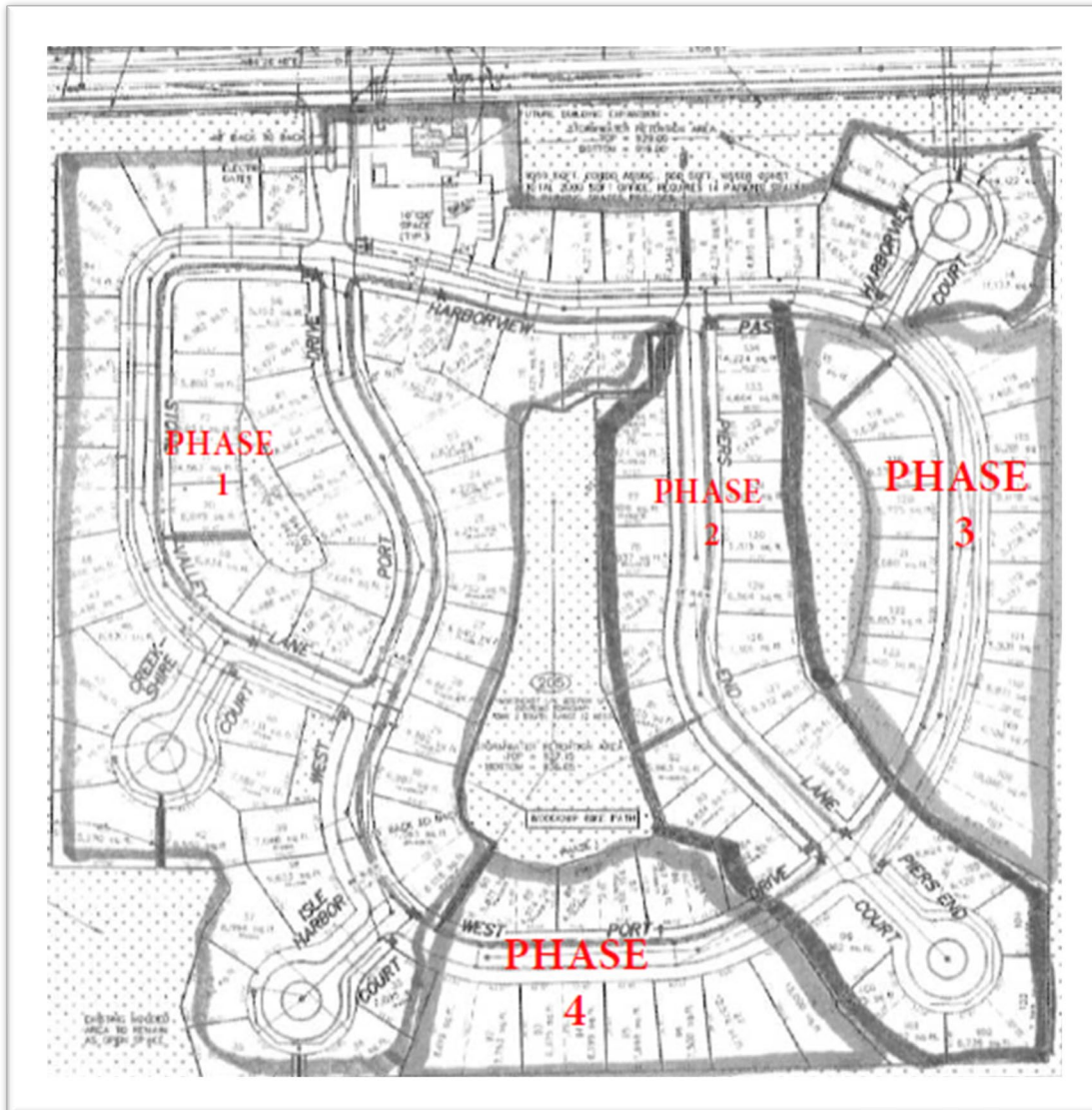
West Port Village is both a PUD, allowed as a Special Exception Use and addressed in Section 41 of the Zoning Ordinance and a Site Condominium, which is regulated through Article 290 of the General



Ordinance. The PUD conceptual plan was originally approved in 2005 and has been amended slightly since then.

Section 41.110.D *Project Phasing* indicates that each phase must be designed to be fully functional on its own regarding services, utilities, circulation, facilities and open space. As this is the preliminary plan (Step 1) of the site condominium process for this phase, engineering details of much of this infrastructure are not yet required. However, as Phase 3 is the continued extension of existing circulation, utilities and services on the site, its development will access this infrastructure. In addition, the conceptual plan for the PUD was approved which indicates development of these services.

Article 41 of the Zoning Ordinance provides the process and parameters for the establishment of a planned unit development (PUD). The West Port Village PUD was approved in 2004 as a two-phase project. Since that time, the PUD has been amended. The most recent amendment was to break Phase 2 into two phases (phases 2 and 3). The applicant now seeks to further divide Phase 3 into Phase 3 and Phase 4. See attached statement from the applicant in support of this phasing request. The requested change to the phasing of the development does not alter the underlying design of the PUD. Therefore, no real alterations are being made to the plan and Section 41 is satisfied; the Planning Commission may allow for such phasing as it does not alter the underlying design of the PUD.



### ***Phase 3 Preliminary Plan (Step One)***

Under Part 290.005.D of Article 290 of the Site Condominium ordinance, preliminary plans are to make adequate provisions for streets, building sites and non-motorized or pedestrian pathways. The design of West Port Village has not changed significantly since its submittal in 2006. The streets within the development are private and were approved with no stubs to adjacent lots for future connections. The lots planned within Phase 3 of the project generally retain the same shape and size as originally approved. An enlargement of a site in Phase 2 is planned with this project. The overall density of the development is less than the maximum density allowed for an R-2 District, where sewer and water are available.

Article 290 dictates the process under which site condominium projects such as West Port Village develop. Step One approval requires action by the Planning Commission and Township Board. The Planning Commission determines whether the project complies with the ordinance requirements and forwards a recommendation of approval if met, or denial if the ordinance requirements are not met, to the Township Board.

The Phase 3 preliminary plan was reviewed against the requirements of Part 290.007.B. Staff completed an initial review and provided comments to the applicant for plan revisions. The majority of the comments were not substantive to the design of the development.

Given the number of years that have passed since the condominium was established, Phase 3 cannot be included as an amendment to the West Port Village site condominium (as an expansion) unless the existing Condominium Association authorizes the expansion. If not authorized to expand the condominium, the developer will have to establish a new condominium. This provision comes from the Michigan Condominium Act. The developer and the Condominium Association are aware.

#### **Non-Motorized**

Sidewalks are proposed on the west side of Harborview Pass. The sidewalks within West Port Village do not comply with current standards for sidewalks, particularly related to placement and size. In 2006, the Planning Commission approved a four-foot sidewalk to be located on one side of the private street. Current practice on public streets within the Township is to develop sidewalks on both sides of the road at a minimum width of five feet. However, since the four-foot width was originally approved for the development and installation of a four foot sidewalk had occurred, the Planning Commission granted approval with review of Phase 2 to allow continuation of the sidewalks as existing for future phases.

When approval was given in 2006 for a sidewalk on only one side of the private street, the Planning Commission also included a condition that sidewalks must be completed as each site is built, but before a Certificate of Occupancy is issued. Sidewalks must also continue through driveways at a slope meeting ADA requirements.

A non-motorized path is required along H Avenue. A condition of Phase 2 was that the path be constructed with 50% of the homes in Phase 2 were completed. The process to obtain Road Commission of Kalamazoo County (RCKC) approval to construct the non-motorized facility in the H Avenue right of way should be commenced by the applicant very soon. As it was required with Phase 2, the non-motorized path should be established in 2024 in coordination with the Township's project along H Avenue.

### **Stormwater Management Systems**

Stormwater management is established within the development. Additional storm sewer will be added with the extension of the street serving Phase 3, Harborview Pass.

### **Street Lighting**

Although such features are not required to be shown on the site plan until step two review, the applicant does intend to install street lighting as shown on the preliminary plan. The finalization of lighting details and manufacturer specifications will be reviewed with a photometric plan during the step two review process.

### **Natural Features and Landscaping**

With past approvals, the existing tree line along the east side of the development is to be retained for purposes of providing a buffer. The development predates the ordinance street tree requirement; street trees are not required within this development.

### **Utilities and Easements**

Public water and sewer serve the development. The utilities for Phase 3 will be established in existing easements.

### **REVIEWS BY OTHER DEPARTMENTS:**

#### **Public Works**

The Oshtemo Public Works Director Horner has reviewed the preliminary plan. The Director's review comments and requirements of approval are provided below:

Below are comments related to Engineering items for the resubmission of "Preliminary Layout" plans by Prein & Newhof dated April, 2024 for the above referenced project. These items shall be accepted by Public Works prior to the first building permit being issued.

#### **Nonmotorized**

- The concrete sidewalk detail indicates concrete curb and gutter. The remainder of this development has asphalt rolled curb. Please clarify which will be utilized.
- The concrete sidewalk detail must indicate sidewalks are required to be 6 inches through driveways.
- Provide the Township verification of approval by RCKC for the non-motorized path along H Ave. The applicant is advised that this process takes a significant amount of time and should be started as soon as possible.

#### **Grading**

- Plans shall include minimum building openings (MBOs) when applicable and finish floor elevations. None listed for east side of road (Units 111-120).

#### Drainage/Storm

- Inspector Report provided from 4/25/2024 by P&N. Assume this is for northern most retention area by H Ave. Report and photos indicate good condition in pond and proper function. Riprap areas at pipe outlets shall be corrected to provide adequate stone sizing and area.

#### **Fire Department**

The Fire Marshal has reviewed the site plan and indicated that the Fire Department has no concerns.

#### **RECOMMENDATION**

Planning Department staff recommend that the Planning Commission 1) approve the amendment to the phasing plan to allow Phase 3 to become Phase 3 and Phase 4; and 2) forward a recommendation of step one tentative preliminary plan approval to the Township Board for Phase 3 of the West Port Village site condominium – a 17 unit addition subject to the following conditions.

- 1) The requirements of the Public Works Director listed in this report be satisfied.
- 2) H Avenue non-motorized path be established in 2024.
- 3) Sidewalks be established as each unit is completed and continue through the driveway as was required in Phase 2.
- 4) Condominium documents establishing the new condominium or amendments to the existing condominium documents be provided for Township Attorney review and approval before a building permit is issued in Phase 3.

Attachments: Application with Letter of Intent  
Preliminary Layout (Sheet 1 of 1)



May 4, 2024

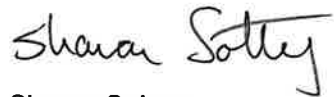
Oshtemo Planning Commission  
7275 W. Main Street  
Kalamazoo, MI 49009

Dear Planning Commission,

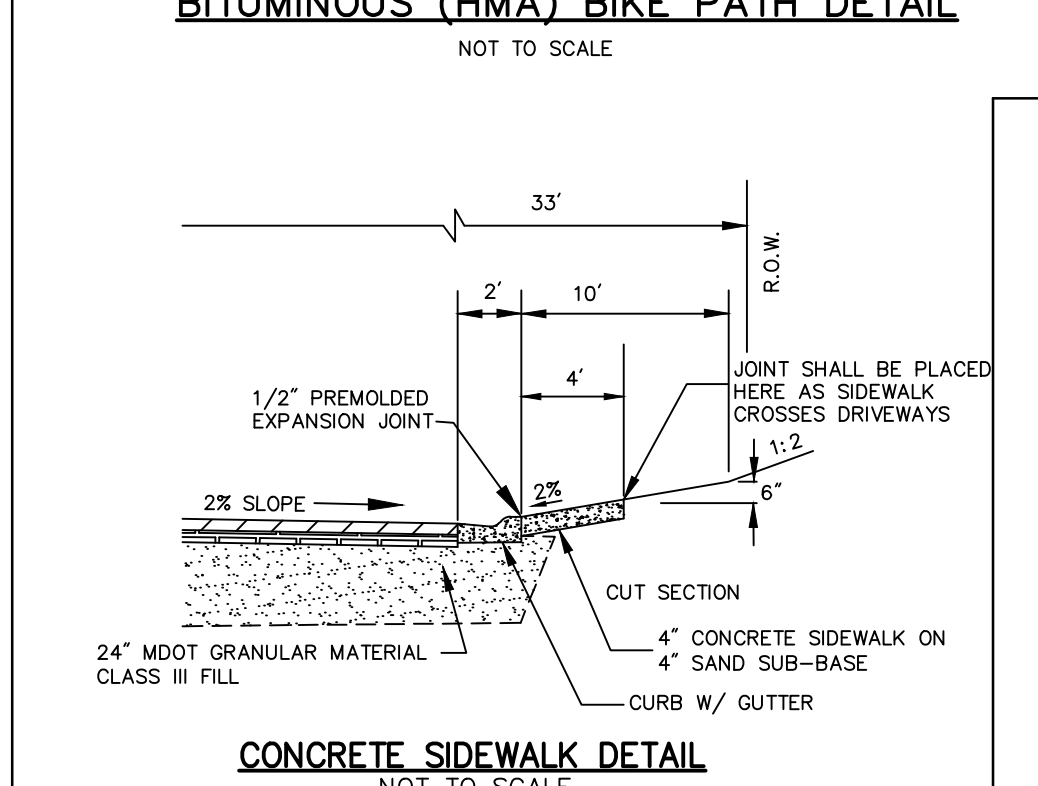
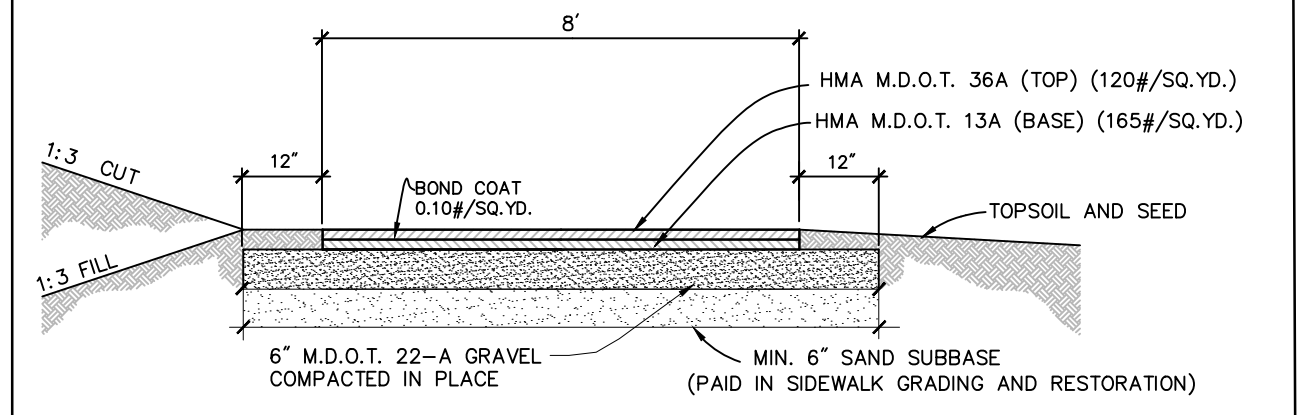
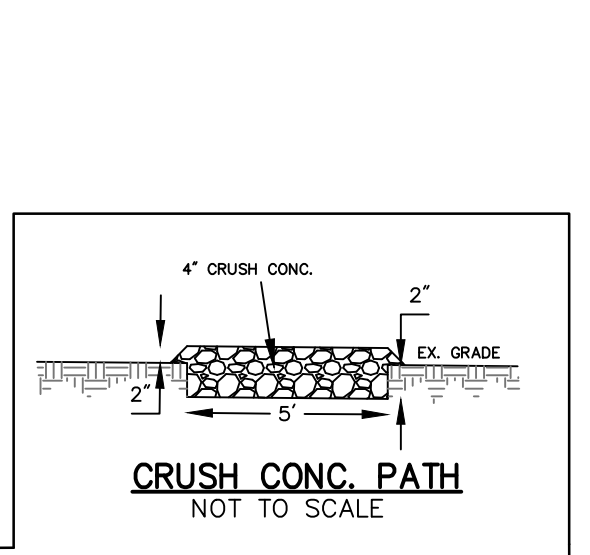
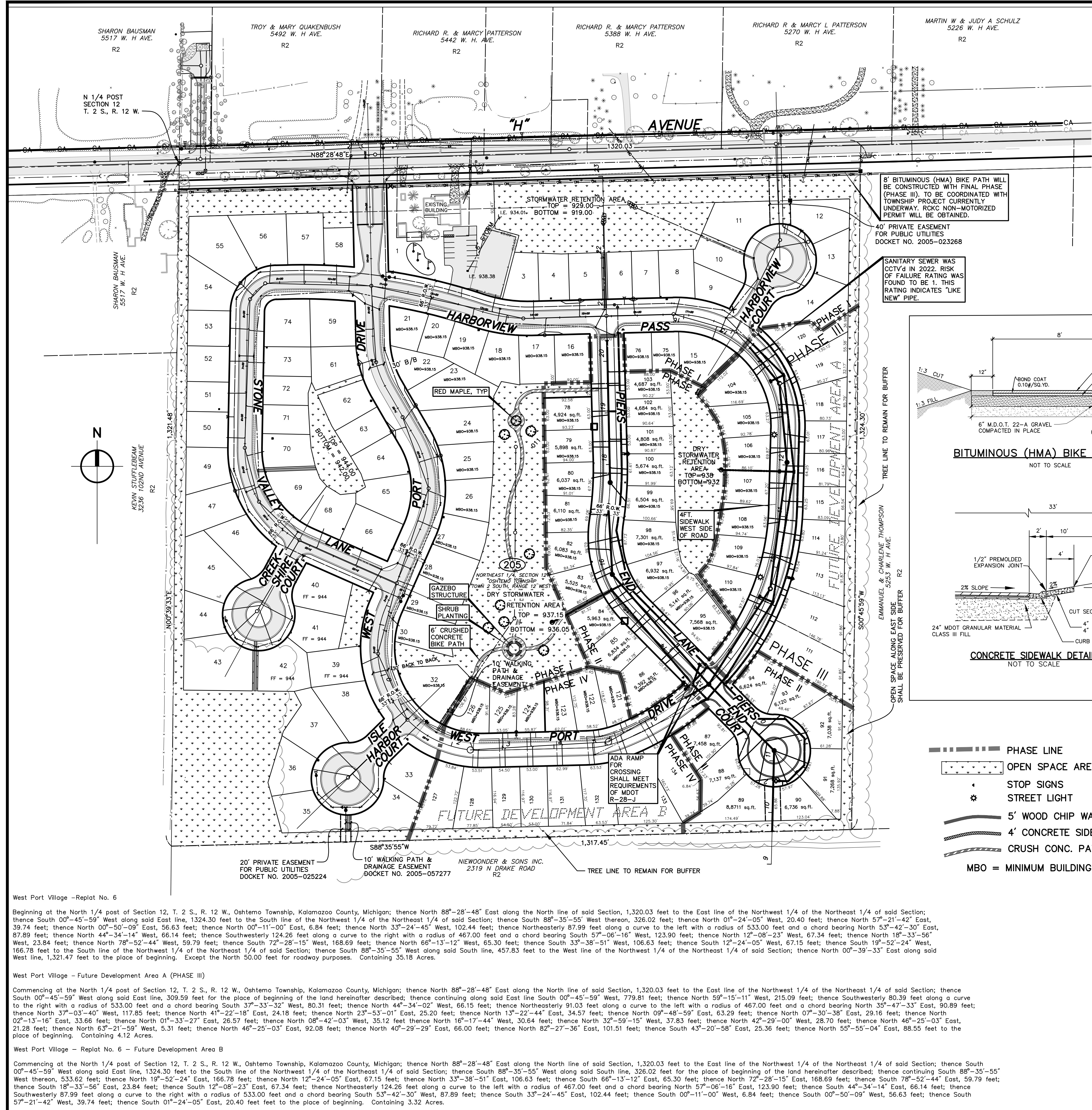
I am unable to attend the meeting on May 23 as I will be out of town.

I am therefore writing in enthusiastic support of the request of Visser Developers for tentative preliminary approval for Phase III development in West Port Village. I am a homeowner in West Port Village, and I believe it is in everyone's best interest for the development to be completed.

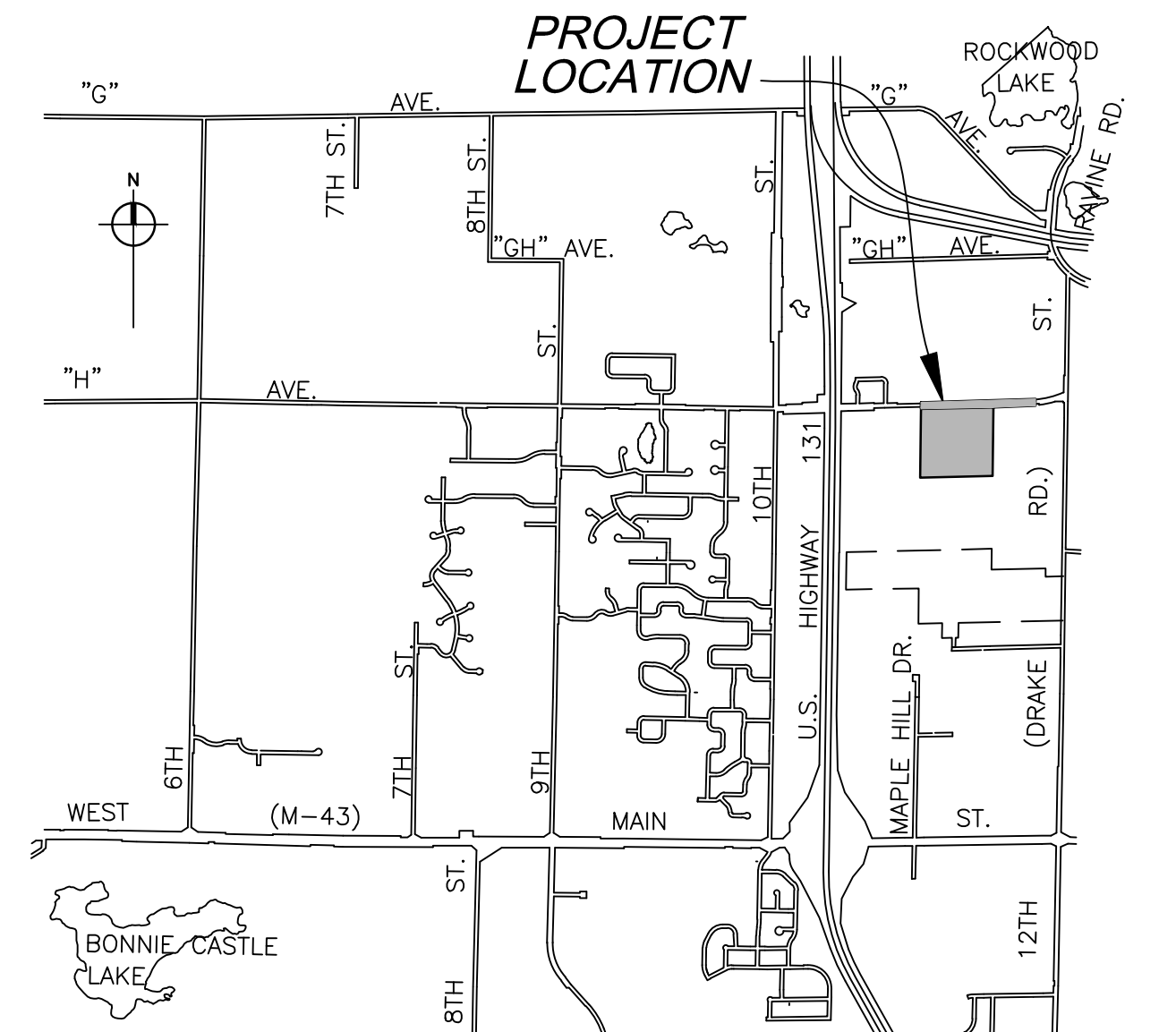
Thank you very much,



Sharon Soltesz  
2562 Piers End Lane  
Kalamazoo, MI 49009  
269-383-4407  
[sharonsoltesz@gmail.com](mailto:sharonsoltesz@gmail.com)



- PHASE LINE
- OPEN SPACE AREAS
- STOP SIGNS
- STREET LIGHT
- 5' WOOD CHIP WALKING PATH
- 4' CONCRETE SIDEWALK
- CRUSH CONC. PATH
- MBO = MINIMUM BUILDING OPENING ELEVATION



**TOTAL PUD CALCULATIONS**  
 TOTAL PARCEL AREA W/O 50' ROW HALF WIDTH = 38.51 ACRES  
 MINIMUM SIZE LOT FOR THIS ZONE = 10,560 SQ. FT.  
 (W/ SWR & WTR)  
 38.51 ACRES/10,560 SQ FT = 158 UNITS MAXIMUM  
 UNIT AMOUNT PROPOSED FOR TOTAL PROJECT = 128 OFFICE/COMMON BUILDING (UNIT 1)  
 1 BUILDING = 1 UNIT  
 OPEN SPACE REQUIRED = 5%  
 OPEN SPACE PROVIDED = 8.36 ACRES = 21.7%

**PROPOSED SETBACKS**  
 FRONT = 0'  
 SIDE = 5' TO OUTSIDE OF FOUNDATION WALL (EXCEPT SHARED WALL)  
 REAR = 0' TO LEADING EDGE

**SMALLEST LOT = LOT 16 (3,499 SQ FT)**  
**MINIMUM WIDTH = LOT 12 (44.27')**  
**LARGEST LOT = LOT 43 (13,270 SQ FT)**

**PHASE I PUD CALCULATIONS (UNITS 1-76)**  
 PHASE I = 24.42 ACRES W/O 50' R.O.W.  
 PHASE I OPEN SPACE = 289,029 SQ FT = 27.17%  
 PHASE I UNITS PROPOSED = 71  
 PHASE I UNITS NUMBERED 1, 3-30, 32-47, 49-59, 61-66, 68-76  
 UNITS 2, 31, 48, 60, 67 HAVE BEEN DELETED AS A PART OF THE MAY 24, 2006 CHANGES  
 1 UNIT (SINGLE FAMILY BUILDING)  
 70 BUILDINGS = 70 UNITS  
 OFFICE/COMMON BUILDING (UNIT 1)  
 1 BUILDING = 1 UNIT

**PHASE II PUD CALCULATIONS (UNITS 78-103)**  
 PHASE II = 6.57 ACRES  
 PHASE II OPEN SPACE = 40,762 SQ FT = 14.37%  
 PHASE II UNITS PROPOSED = 27  
 1 UNIT (SINGLE FAMILY BUILDING)  
 26 BUILDINGS = 26 UNITS

**PHASE III PUD CALCULATIONS (UNITS 104-120)**  
 PHASE III = 4.12 ACRES  
 PHASE III OPEN SPACE = 28,918 SQ. FT. (8.26%)  
 PHASE III UNITS PROPOSED = 17  
 1 UNIT (SINGLE FAMILY BUILDING)  
 17 BUILDINGS = 17 UNITS

**PHASE IV PUD CALCULATIONS (UNITS 121-134)**  
 PHASE IV = 3.32 ACRES  
 PHASE IV OPEN SPACE = 28,918 SQ. FT. (8.26%)  
 PHASE IV UNITS PROPOSED = 15  
 1 UNIT (SINGLE FAMILY BUILDING)  
 15 BUILDINGS = 15 UNITS

**NOTES:**  
 STORM SEWER - STORM WATER SYSTEM (DRAIN TO RETENTION BASIN) RETENTION BASINS TO BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION  
 WATER SUPPLY - MUNICIPAL  
 SANITARY SEWER - MUNICIPAL  
 ZERO-LOT-LINE CONDOMINIUMS SHALL HAVE C.O. AT THE END OF THE 6" LEAD PRIOR TO SPLIT FOR THE SEPARATE BUILDINGS  
 ROAD CONSTRUCTION - ALL ROADS TO BE BUILT TO KCRS STANDARDS EXCEPT FOR WIDTH OF PAVEMENT PRIVATE ROADS  
 BASE: 6" COMPACTED GRAVEL  
 SURFACE: 330 LBS. PER SQ.YD. HMA  
 CONCRETE CURB & GUTTER  
 ALL PRIVATE R.O.W.'S = 66' WIDE

**ZONING: R2 - ALL ADJACENT**  
 STREET LIGHTING SHALL COMPLY WITH OSHTEMO TOWNSHIP STANDARDS.  
 ALL BUILDING HEIGHTS SHALL COMPLY WITH OSHTEMO TOWNSHIP STANDARDS.  
 ALL COMMON OPEN SPACES TO BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION  
 EXISTING PARCEL 3905-12-205-011 AND 3905-12-205-030 SHALL BE COMBINED WITH THE CONDOMINIUM DOCUMENTS  
 EXISTING BUILDING ON SITE TO BE USED FOR A COMMUNITY AREA AND OFFICE BUILDING FOR VISSER CONSTRUCTION.  
 PARKING - ALL UNITS SHALL BE CONSTRUCTED WITH A TWO CAR GARAGE (2 X 2 = 4 CARS FOR DUPLEXES) PLUS SPACE IN ALL DRIVEWAYS FOR 2 ADDITIONAL CARS (2 X 2 = 4 CARS FOR DUPLEXES).  
 PRIVATE UTILITIES SHALL BE PLACED UNDERGROUND WITHIN THE PRIVATE RIGHT OF WAY AS FOLLOWS:  
 TELEPHONE/FIBER OPTIC/CAV 0'-5' OFF WEST OR SOUTH R.O.W. LINE.  
 GAS/ELECTRIC 5'-7' OFF WEST OR SOUTH R.O.W. LINE  
 ACCESS TO PHASE III AREA SHALL BE PROVIDED IN THE MASTER DEED OF PHASE II.  
 FINISH FLOORS LABELED SHALL BE THE MINIMUM ELEVATION. ELEVATIONS HIGHER THAN THIS ELEVATION ARE ALLOWED.  
 THE ENTIRE SITE WILL BE A GENERAL COMMON ELEMENT WITH THE EXCEPTION OF THE INDIVIDUAL UNITS.  
 MAILBOXES SHALL BE LOCATED OPPOSITE SIDE OF THE SIDEWALK. EAST SIDE FOR HARBORVIEW PASS.

West Port Village - Replat No. 6  
 Beginning at the North 1/4 post of Section 12, T. 2 S., R. 12 W., Oshtemo Township, Kalamazoo County, Michigan; thence North 88°-28'-48" East along the North line of said Section, 1,320.03 feet to the East line of the Northwest 1/4 of the Northeast 1/4 of said Section; thence South 00°-45'-59" West along said East line, 1,324.30 feet to the South line of the Northwest 1/4 of said Section; thence South 88°-35'-55" West thereon, 326.02 feet; thence North 01°-24'-05" West, 20.40 feet; thence North 57°-21'-42" East, 39.74 feet; thence North 00°-50'-09" East, 56.63 feet; thence North 00°-11'-00" East, 6.84 feet; thence North 33°-24'-45" West, 102.44 feet; thence Northeastly 87.99 feet along a curve to the left with a radius of 533.00 feet and a chord bearing North 53°-42'-30" East, 87.89 feet; thence North 44°-34'-14" West, 66.14 feet; thence Southwesterly 124.26 feet along a curve to the right with a radius of 467.00 feet and a chord bearing South 53°-06'-16" West, 123.90 feet; thence North 12°-08'-23" West, 67.34 feet; thence North 18°-33'-56" West, 23.84 feet; thence North 78°-52'-44" West, 59.79 feet; thence South 72°-28'-15" West, 168.69 feet; thence North 65°-13'-12" West, 65.30 feet; thence South 33°-38'-51" West, 106.63 feet; thence South 12°-24'-05" West, 67.15 feet; thence South 19°-52'-24" West, 166.78 feet to the South line of the Northwest 1/4 of the Northeast 1/4 of said Section; thence South 88°-35'-55" West along said South line, 457.83 feet to the West line of the Northwest 1/4 of the Northeast 1/4 of said Section; thence North 00°-39'-33" East along said West line, 1,321.47 feet to the place of beginning. Except the North 50.00 foot for roadway purposes. Containing 35.18 Acres.

West Port Village - Future Development Area A (PHASE III)  
 Commencing at the North 1/4 post of Section 12, T. 2 S., R. 12 W., Oshtemo Township, Kalamazoo County, Michigan; thence North 88°-28'-48" East along the North line of said Section, 1,320.03 feet to the East line of the Northwest 1/4 of the Northeast 1/4 of said Section; thence South 00°-45'-59" West along said East line, 309.59 feet for the place of beginning of the land hereinafter described; thence continuing along said East line South 00°-45'-59" West, 779.81 feet; thence North 59°-15'-11" West, 215.09 feet; thence Southwesterly 80.39 feet along a curve to the right with a radius of 533.00 feet and a chord bearing South 37°-33'-32" West, 80.31 feet; thence North 44°-34'-02" West, 66.15 feet; thence Northeastly 91.03 feet along a curve to the left with a radius of 467.00 feet and a chord bearing North 53°-42'-30" East, 90.89 feet; thence North 37°-03'-40" West, 117.85 feet; thence North 41°-22'-18" East, 24.18 feet; thence North 23°-53'-01" East, 25.20 feet; thence North 13°-22'-44" East, 34.57 feet; thence North 09°-48'-59" East, 63.29 feet; thence North 07°-30'-38" East, 29.16 feet; thence North 02°-13'-16" East, 33.66 feet; thence North 01°-33'-27" East, 26.57 feet; thence North 08°-42'-03" West, 35.12 feet; thence North 16°-17'-44" West, 30.64 feet; thence North 32°-59'-15" West, 37.83 feet; thence North 42°-29'-00" West, 28.70 feet; thence North 46°-25'-03" East, 21.28 feet; thence North 63°-21'-59" West, 5.31 feet; thence North 46°-25'-03" East, 92.08 feet; thence North 40°-29'-29" East, 66.00 feet; thence North 82°-27'-36" East, 101.51 feet; thence South 43°-20'-58" East, 25.36 feet; thence North 55°-55'-04" East, 88.55 feet to the place of beginning. Containing 4.12 Acres.

West Port Village - Replat No. 6 - Future Development Area B  
 Commencing at the North 1/4 post of Section 12, T. 2 S., R. 12 W., Oshtemo Township, Kalamazoo County, Michigan; thence North 88°-28'-48" East along the North line of said Section, 1,320.03 feet to the East line of the Northwest 1/4 of the Northeast 1/4 of said Section; thence South 00°-45'-59" West along said East line, 1,324.30 feet to the South line of the Northwest 1/4 of the Northeast 1/4 of said Section; thence South 88°-35'-55" West thereon, 326.02 feet for the place of beginning of the land hereinafter described; thence continuing South 88°-35'-55" West, 533.62 feet; thence North 12°-24'-05" East, 67.15 feet; thence North 33°-38'-51" East, 106.63 feet; thence South 65°-13'-12" East, 65.30 feet; thence North 72°-28'-15" East, 168.69 feet; thence South 78°-52'-44" East, 59.79 feet; thence South 18°-33'-56" East, 23.84 feet; thence South 12°-08'-23" East, 67.34 feet; thence Northeastly 124.26 feet along a curve to the left with a radius of 467.00 feet and a chord bearing North 53°-06'-16" East, 123.90 feet; thence South 44°-34'-14" East, 66.14 feet; thence Southwesterly 87.99 feet along a curve to the right with a radius of 533.00 feet and a chord bearing South 53°-42'-30" West, 87.89 feet; thence North 13°-22'-44" East, 34.57 feet; thence North 09°-48'-59" East, 63.29 feet; thence North 07°-30'-38" East, 29.16 feet; thence North 02°-13'-16" East, 33.66 feet; thence North 01°-33'-27" East, 26.57 feet; thence North 08°-42'-03" West, 35.12 feet; thence North 16°-17'-44" West, 30.64 feet; thence North 32°-59'-15" West, 37.83 feet; thence North 42°-29'-00" West, 28.70 feet; thence North 46°-25'-03" East, 21.28 feet; thence North 63°-21'-59" West, 5.31 feet; thence North 46°-25'-03" East, 92.08 feet; thence North 40°-29'-29" East, 66.00 feet; thence North 82°-27'-36" East, 101.51 feet; thence South 43°-20'-58" East, 25.36 feet; thence North 55°-55'-04" East, 88.55 feet to the place of beginning. Containing 3.32 Acres.

1) EXISTING UTILITY LOCATIONS WERE OBTAINED FROM AVAILABLE RECORDS AND NOT VERIFIED BY FIELD SURVEY. ACTUAL LOCATIONS SHALL BE FIELD VERIFIED BY THE RESPECTIVE UTILITIES THROUGH THE "MISS DIG" SERVICE. CALL "MISS DIG" (800-482-7171) 72 HOURS BEFORE DIGGING.



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NO.	REVISIONS	BY	DATE	DRAWN
				S.J.V.
			APR. '24	
				C.A.K.
			APR. '24	



VISSER CONSTRUCTION, LLC  
 KALAMAZOO COUNTY, MICHIGAN  
 WEST PORT VILLAGE SITE CONDOMINIUM,  
 PHASE III (REPLAT NO. 6)  
 PRELIMINARY LAYOUT

PROJECT NO.  
 2230907  
 SHEET NO.  
 1 OF 1